

F.No.21-31/2016-IA-III
Government of India
Ministry of Environment, Forest and Climate Change
(IA.III Section)

Indira Paryavaran Bhawan,
Jor Bagh Road, New Delhi - 3

Date: 2nd June, 2017

To,

The Deputy Project Director,
M/s Kolte-Patil Developers Ltd,
501, 5th Floor, The Capital, Plot No. C70, G-Block,
Bandra Kurla Complex, Bandra (East),
Mumbai - 400051 (Maharashtra)

Email: gopal.sarda@koltepatil.com
Fax: 022 61770100

Subject: Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd' at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) by M/s Kolte-Patil Developers Ltd - Environmental Clearance - reg.

Sir,

This has reference to your online proposal No. IA/MH/NCP/60056/2016 dated 28th October, 2016, submitting the above proposal to this Ministry for grant of Environmental Clearance (EC) in term of the provisions of the Environment Impact Assessment (EIA) Notification, 2006 under the Environment (Protection) Act, 1986.

2. The proposal for grant of environmental clearance to the project '**Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd'** at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) promoted by M/s Kolte-Patil Developers Ltd. was considered by the Expert Appraisal Committee (Infra-2) in its meetings held on 24th - 25th November, 2016 and 23rd - 25th January, 2017. The details of the project, as per the documents submitted by the project proponent, and also as informed during the above meeting, are under:-

- (i) The project involves redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd' at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) promoted by M/s Kolte-Patil Developers Ltd. The project is located at 19°14'56.16"N Latitude and 72°51'15.72"E Longitude.
- (ii) Total plot area is 4,994.70 m². The project will comprise of 1 building with three wings. FSI area is 12,472.91 Sq.mt. (including fungible area). The total built up area is 22,346.42 m². Project is in Jurisdiction of Municipal Corporation of Greater Mumbai (M.C.G.M.). The building configuration is as given below:

1 Building with 3 Wings; Total Flats: 211 Nos.	Height (up to terrace level)
Wing A: Lower Ground + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.
Wing B: Basement + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.
Wing C: Basement + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.

- (iii) Total water requirement will be 145 m³/day. Out of which, fresh water requirement from MCGM will be 95 m³/day and remaining water requirement (50 m³/day) will be met from recycled/treated effluent. Excess treated effluent will be discharged into existing sewer line. Sewage (123 m³/day) will be treated in the STP. Treated sewage will be recycled for flushing and horticulture purpose.
- (iv) Solid waste generation will be 472 kg/day, out of which, quantity of biodegradable solid waste is 332 kg/day and non-biodegradable waste is 142 kg/day, biodegradable waste will be treated in Organic Waste Converter. Space earmarked for solid waste management is 80 m².
- (v) Power requirement will be 1785 kW. DG set (1 x 500 KVA) will be installed for emergency power supply.
- (vi) Total 80 trees to be cut. 32 existing trees to be retained.
- (vii) Parking facility 209 nos. and 20 nos. will be provided for car and two wheelers respectively.
- (viii) Rooftop rainwater of buildings will be collected in 3 Nos. RWH tanks of total 40 KLD capacities for harvesting after filtration.
- (ix) Proposed energy saving measures would save about 20% of power.
- (x) It is reported that Sanjay Gandhi National Park and Tungareshwar Sanctuary are located at a distance of 2.0 km and 12 km respectively. Water bodies namely Vasai Creek, Dahisar River, Manori Creek, Tulsi Lake, Malad creek, Yeoor Lake, Vihar Lake, Upvan Lake, Kachrali Lake, Siddheshwar Lake, Raila Devi Lake, Masunda Lake, Rewale Lake, Powai Lake, Bramhala Lake, Jail Lake, Ambe Bhosale Lake, Hariyali Lake, Ulhas River and Arabian Sea are located within 15 km distance.
- (xi) There is no court case pending against the project.
- (xii) **Investment/ Cost** of the project is Rs. 99.67 Crores.
- (xiii) **Employment Potential:** During construction phase, 150 Nos. & some household and domestic servants during operation phase.
- (xiv) **Benefits of the project:** Redevelopment project.

4. The EAC, in its meeting held on 23rd – 25th January, 2017, after detailed deliberations on the proposal, has recommended for grant of Environmental Clearance to the project. As per recommendations of the EAC, the Ministry of Environment, Forest and Climate Change hereby accords Environmental Clearance to the project **Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd'** at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai

Suburban, Mumbai (Maharashtra) by M/s Kolte-Patil Developers Ltd, under the provisions of the EIA Notification, 2006 and amendments/circulars issued thereon, and subject to the specific and general conditions as under:-

PART A – SPECIFIC CONDITIONS:

I. Construction Phase

- (i) The project proponent shall obtain all necessary clearance/ permission from all relevant agencies including town planning authority before commencement of work. All the construction shall be done in accordance with the local building byelaws.
- (ii) The natural drain system should be maintained for ensuring unrestricted flow of water. No construction shall be allowed to obstruct the natural drainage through the site, on wetland and water bodies. Check dams, bio-swales, landscape, and other sustainable urban drainage systems (SUDS) are allowed for maintaining the drainage pattern and to harvest rain water. Buildings shall be designed to follow the natural topography as much as possible. Minimum cutting and filling should be done.
- (iii) Construction site shall be adequately barricaded before the construction begins. Dust, smoke & other air pollution prevention measures shall be provided for the building as well as the site. These measures shall include screens for the building under construction, continuous dust/ wind breaking walls all around the site (at least 3 meter height). Plastic/tarpaulin sheet covers shall be provided for vehicles bringing in sand, cement, murram and other construction materials prone to causing dust pollution at the site as well as taking out debris from the site. Sand, murram, loose soil, cement, stored on site shall be covered adequately so as to prevent dust pollution. Wet jet shall be provided for grinding and stone cutting. Unpaved surfaces and loose soil shall be adequately sprinkled with water to suppress dust.
- (iv) All construction and demolition debris shall be stored at the site (and not dumped on the roads or open spaces outside) before they are properly disposed. All demolition and construction waste shall be managed as per the provisions of the Construction and Demolition Waste Rules, 2016. All workers working at the construction site and involved in loading, unloading, carriage of construction material and construction debris or working in any area with dust pollution shall be provided with dust mask.
- (v) At least 20% of the open spaces as required by the local building bye-laws shall be pervious. Use of Grass pavers, paver blocks with at least 50% opening, landscape etc. would be considered as pervious surface.
- (vi) Compliance with the Energy Conservation Building Code (ECBC) of Bureau of Energy Efficiency shall be ensured. Buildings in the States which have notified their own ECBC, shall comply with the State ECBC. Outdoor and common area lighting shall be LED. Concept of passive solar design that minimize energy consumption in buildings by using design elements, such as building orientation, landscaping, efficient building envelope, appropriate fenestration, increased day lighting design and thermal mass etc. shall be incorporated in the building design. Wall, window, and roof u-values shall be as per ECBC specifications.



- (vii) Use of water saving devices/ fixtures (viz. low flow flushing systems; use of low flow faucets tap aerators etc) for water conservation shall be incorporated in the building plan.
- (viii) Installation of dual pipe plumbing for supplying fresh water for drinking, cooking and bathing etc and other for supply of recycled water for flushing, landscape irrigation, car washing, thermal cooling, conditioning etc. shall be done.
- (ix) Sewage shall be treated in the STP (with tertiary treatment preferably Ultra filtration). The treated effluent from STP shall be recycled/re-used for flushing, horticulture & DG cooling. Excess treated water shall be discharged as per CPCB norms.
- (x) No sewage/treated effluent from the project site shall be discharged into nearby lake/pond.
- (xi) The local bye-law provisions on rain water harvesting should be followed. If local bye-law provision is not available, adequate provision for storage and recharge should be followed as per the Ministry of Urban Development Model Building Byelaws, 2016. As proposed, rooftop rainwater of buildings shall be collected in 3 Nos. RWH tanks of total 40 KL capacity for harvesting after filtration.
- (xii) Separate wet and dry bins must be provided in each unit and at the ground level for facilitating segregation of waste. Solid waste shall be segregated into wet garbage and inert materials. Wet garbage shall be composted in Organic Waste Converter. As proposed, 80 m² of space shall be provided for solid waste management within the premises which will include area for segregation, composting. The inert waste from group housing project will be sent to dumping site at MCGM.
- (xiii) Solar based electric power shall be provided to each unit for at least two bulbs/light and one fan. As proposed, central lighting and street lighting shall also be based on solar power.
- (xiv) A First Aid Room shall be provided in the project both during construction and operations of the project.
- (xv) Topsoil should be stripped to a depth of 20 cm from the areas proposed for buildings, roads, paved areas, and external services. It should be stockpiled appropriately in designated areas and reapplied during plantation of the proposed vegetation on site.
- (xvi) Disposal of muck during construction phase shall not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- (xvii) The diesel generator sets to be used during construction phase shall be low sulphur diesel type and shall conform to Environmental (Protection) prescribed for air and noise emission standards.
- (xviii) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xix) During construction phase, total water requirement is expected to be 12 KLD for workers and 10-20 KLD for construction activity which will be met by M.C.G.M. and tanker respectively. During construction phase the waste water will be disposed to existing municipal sewer line. Temporary sanitary toilets will be provided during peak labor force.

- (xx) As proposed, no ground water shall be used during construction/ operation phase of the project.
- (xxi) Approval of the CGWA require before any dewatering for basements.
- (xxii) The approval of the Competent Authority shall be obtained for structural safety of buildings due to earthquakes, adequacy of firefighting equipment etc as per National Building Code including protection measures from lightening etc.
- (xxiii) Any hazardous waste generated during construction phase, shall be disposed off as per applicable rules and norms with necessary approvals of the State Pollution Control Board.
- (xxiv) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards be operated only during non-peak hours.
- (xxv) Ambient noise levels shall conform to residential standards both during day and night as per Noise Pollution (Control and Regulation) Rules, 2000. Incremental pollution loads on the ambient air and noise quality shall be closely monitored during construction phase. Adequate measures shall be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB / SPCB.
- (xxvi) Use of environment friendly materials in bricks, blocks and other construction materials, shall be required for at least 20% of the construction material quantity. These include Fly Ash bricks, hollow bricks, AACs, Fly Ash Lime Gypsum blocks, Compressed earth blocks, and other environment friendly materials. Fly ash should be used as building material in the construction as per the provision of Fly Ash Notification of September, 1999 and amended as on 27th August, 2003 and 25th January, 2016. Ready mixed concrete must be used in building construction.
- (xxvii) A comprehensive mobility plan, as per MoUD best practices guidelines (URDPFI), shall be prepared to include motorized, non-motorized, public, and private networks. Road should be designed with due consideration for environment, and safety of users. The road system can be designed with these basic criteria.
 - Hierarchy of roads with proper segregation of vehicular and pedestrian traffic.
 - Traffic calming measures
 - Proper design of entry and exit points.
 - Parking norms as per local regulation

II. Operational Phase

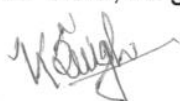
- (i) The gaseous emissions from DG set shall be dispersed through adequate stack height as per CPCB standards. Acoustic enclosure shall be provided to the DG sets to mitigate the noise pollution. Low sulphur diesel shall be used. The location of the DG set and exhaust pipe height shall be as per the provisions of the Central Pollution Control Board (CPCB) norms.
- (ii) For indoor air quality the ventilation provisions as per National Building Code of India.
- (iii) Fresh water requirement from MCGM water supply shall not exceed 95 m³/day.



- (iv) The quantity of fresh water usage, water recycling and rainwater harvesting shall be measured and recorded to monitor the water balance as projected by the project proponent. The record shall be submitted to the Regional Office, MoEF&CC along with six monthly Monitoring reports.
- (v) The installation of the Sewage Treatment Plant (STP) shall be certified by an independent expert and a report in this regard shall be submitted to the Ministry before the project is commissioned for operation. Periodical monitoring of water quality of treated sewage shall be conducted. Necessary measures should be made to mitigate the odour problem from STP.
- (vi) No sewage or untreated effluent water would be discharged through storm water drains.
- (vii) Sludge from the onsite sewage treatment, including septic tanks, shall be collected, conveyed and disposed as per the Ministry of Urban Development, Central Public Health and Environmental Engineering Organization (CPHEEO) Manual on Sewerage and Sewage Treatment Systems, 2013.
- (viii) The provisions of the Solid Waste (Management) Rules, 2016, e-Waste (Management) Rules, 2016, and the Plastics Waste (Management) Rules, 2016 shall be followed.
- (ix) Solar power shall be used for lighting in the apartment to reduce the power load on grid. Separate electric meter shall be installed for solar power. Solar water heaters shall be used to meet hot water demand, as far as possible.
- (x) Energy conservation measures like installation of CFLs/ LED for the lighting the area outside the building should be integral part of the project design and should be in place before project commissioning. Used CFLs, TFL and LED shall be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination.
- (xi) A minimum of 1 tree for every 80 sq.mt. of land should be planted and maintained. The existing trees will be counted for this purpose. Preference should be given to planting native species. Where the trees need to be cut, compensatory plantation in the ratio of 1:3 (i.e. planting of 3 trees for every 1 tree that is cut) shall be done and maintained. Area earmarked for green belt is 1024 m².


PART B - GENERAL CONDITIONS

- (i) A copy of the environmental clearance letter shall also be displayed on the website of the concerned State Pollution Control Board. The EC letter shall also be displayed at the Regional Office, District Industries centre and Collector's Office/ Tehsildar's office for 30 days.
- (ii) The funds earmarked for environmental protection measures shall be kept in separate account and shall not be diverted for other purpose. Year-wise expenditure shall be reported to this Ministry and its concerned Regional Office.
- (iii) Officials from the Regional Office of MoEF&CC, Nagpur who would be monitoring the implementation of environmental safeguards should be given full cooperation, facilities and documents/data by the project proponents during their inspection. A complete set of all the documents submitted to MoEF&CC shall be forwarded to the APCCF, Regional Office of MoEF&CC, Nagpur.




- (iv) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Ministry.
- (v) The Ministry reserves the right to add additional safeguard measures subsequently, if found necessary, and to take action including revoking of the environment clearance under the provisions of the Environment (Protection) Act, 1986, to ensure effective implementation of the suggested safeguard measures in a time bound and satisfactory manner.
- (vi) All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire Department, Civil Aviation Department, the Forest Conservation Act, 1980 and the Wildlife (Protection) Act, 1972 etc. shall be obtained, as applicable by project proponents from the respective competent authorities.
- (vii) These stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act 1981, the Environment (Protection) Act, 1986, the Public Liability (Insurance) Act, 1991 and the EIA Notification, 2006.
- (viii) The project proponent shall advertise in at least two local Newspapers widely circulated in the region, one of which shall be in the vernacular language informing that the project has been accorded Environmental Clearance and copies of clearance letters are available with the State Pollution Control Board and may also be seen on the website of the Ministry of Environment, Forest and Climate Change at <http://www.envfor.nic.in>. The advertisement shall be made within Seven days from the date of receipt of the Clearance letter and a copy of the same shall be forwarded to the Regional Office of this Ministry at Nagpur.
- (ix) Any appeal against this clearance shall lie with the National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.
- (x) This Clearance is subject to final order of the Hon'ble Supreme Court of India in the matter of Goa Foundation v/s. Union of India in Writ Petition (Civil) No. 460 of 2004 as may be application to this project.
- (xi) A copy of the clearance letter shall be sent by the proponent to concerned Panchayat, Zilla Parishad/Municipal Corporation, Urban Local Body and the Local NGO, if any, from whom suggestions/ representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the company by the proponent.
- (xii) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF&CC, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sectoral parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
- (xiii) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF&CC by e-mail.

(xiv) This issues with the approval of the Competent Authority.


(Dr. Vinod K. Singh)
Scientist D
02/6/2017

Copy to:

- 1) The Principal Secretary, Environment Department, Government of Maharashtra, 15th Floor, New Administrative Building, Mantralaya, Mumbai - 400 032
- 2) The APCCF (C), MoEF&CC, Regional Office (WCZ), Ground Floor, East Wing, New Secretariat Building, Civil Lines, Nagpur - 440001.
- 3) The Chairman, Central Pollution Control Board Parivesh Bhavan, CBD-cum-Office Complex, East Arjun Nagar, New Delhi - 110 032.
- 4) The Chairman, Maharashtra Pollution Control Board, Kalpataru Point, 3rd and 4th floor, Opp. Cine Planet, Sion Circle, Mumbai-400 022.
- 5) Monitoring Cell, MoEF&CC, Indira Paryavaran Bhavan, New Delhi.
- 6) Guard File/ Record File/ Notice Board.


(Dr. Vinod K. Singh)
Scientist D
02/6/2017



Date: 20/07/2021

To,

Ministry of Environment and Forest,
Climate Change, Regional Offices (WCZ),
Ground Floor, East Wing, New Secretariat Building,
Civil Line, Nagpur - 440 001. Maharashtra.

Sub : Submission of six monthly compliance status report as per terms & conditions Stipulated in Environment clearance letter for proposed redevelopment of 'Sagar Vaibhav', Co-op Housing Society Ltd., at plot bearing CTS no. 51 of village Mandapeshwar, Opp. Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Borivali, Mumbai. Maharashtra.'

Ref. No. : Environment clearance no. 21-31/2016-IA-III, dated: 02/06/2017.

Respected Sir,

In reference to the above referred letter of your highly revered office we would like to submit the current Status of our construction work and Point-wise compliance status to various stipulations in its Environment Clearance no. 21-31/2016-IA-III, dated: 02/06/2017 along with the necessary annexure.

This compliance report is submitted for the period from April 2020 to September 2020.

This is for your kind consideration and records. Kindly acknowledge the same.

Thanking you,

Yours Sincerely,
For, Kolte Patil Developers Ltd.
NIREN
CHAUDHARY
Authorized Signatory

Signature of Niren Chaudhary
For Kolte Patil Developers Ltd.
CIN: L45200PN1991PLC129428
Registered Office: 501 & 502, 5th Floor, The Capital, Plot No. C70, G-Block, Bandra-Kurla Complex, Bandra (East), Mumbai - 400051, India
Pune Regd. Off.: 2nd Floor, CityPoint, Dhule Patil Road, Pune - 411001, Maharashtra, India. Tel.: +91 20 6622 6500 Fax: +91 20 6622 6511 Web: www.koltepatil.com

Encl : Part A: Current status of construction work.
Part B: Point-wise compliance status.
Datasheets & Annexures.

Copy to Regional Office, MPCB, Sion, Mumbai.
Regional Office, CPCB, Vadodara.
Department of Environment, Mantralaya, Mumbai.

CIN : L45200PN1991PLC129428

Mumbai Off. : 501 & 502, 5th Floor, The Capital, Plot No. C70, G-Block, Bandra-Kurla Complex, Bandra (East), Mumbai - 400051, India Tel.: +91 84119 05000, +91 84119 06000

Pune Regd. Off. : 2nd Floor, CityPoint, Dhule Patil Road, Pune - 411001, Maharashtra, India. Tel.: +91 20 6622 6500 Fax: +91 20 6622 6511 Web : www.koltepatil.com

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2.	Part B: Point Wise Compliance Status
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Annexure – 03	Fire NOC
Annexure – 04	Consent to Establish
Annexure – 05	Structural stability certificate
Annexure – 06	Sewerage Remarks
Annexure – 07	Advertisement Copy

: PART A :

Current Status of Work

Status of construction		:	Construction work is not yet started.
a.	Date of commencement (Actual and/or planned)	:	Construction work is not yet started.
b.	Date of completion (Actual and/or planned)	:	30/12/2023 (Planned)

: PART B :

Compliance status of conditions stipulated in Environment clearance for proposed Redevelopment of ‘Sagar-Vaibhav Co-Op Housing Society Ltd.’ at plot bearing CTS no. 51 of village Mandapeshwar, Dahisar (West), Mumbai vide file no. 21-31/2016-IA-III, dated: 02/06/2017 from MoEF & CC, Govt. of India are as follows;

Sl. No	Stipulated clearance conditions	Compliance status
PART A – SPECIFIC CONDITIONS :		
1. Construction Phase		
i	The project proponent shall obtain all necessary clearance/permission from all relevant agencies including town planning authority before commencement of work. All the construction shall be done in accordance with the local building byelaws.	<ul style="list-style-type: none"> ❖ Obtained Environment clearance from MoEF & CC, Govt. of India for the project vide file no. 21-31/2016-IA-III, dated: 02/06/2017. ❖ Please refer Annexure – 1 for Environment Clearance. ❖ MCGM issued IOD for the project vide letter no. CHE/WSII/1096/R/N/337(NEW), dated: 15/05/2017. ❖ Please refer Annexure – 2 for IOD. ❖ Chief Fire Officer, Mumbai Fire Brigade, MCGM, Mumbai issued Fire NOC for the project vide letter no. FB/HR/R-IV/389, dated: 17/10/2016. ❖ Please refer Annexure – 3 for Fire NOC. ❖ MPCB granted consent to establish for the project vide order no. Format 1.0/BO/JD(WPC)/UAN No. 84004/CE/CC-2003000250, dated: 04/03/2020. ❖ Please refer Annexure – 4 for consent to Establish.
ii	The natural drain system should be maintained for ensuring unrestricted flow of water. No construction shall be allowed to obstruct the natural drainage through the site, on wetland and water bodies. Check dams, bio-swailes, landscape, and other sustainable urban drainage systems (SUDS) are allowed for maintaining the drainage pattern and to harvest rain water. Buildings shall be designed to follow the natural topography as much as possible. Minimum cutting and filling should be done.	<ul style="list-style-type: none"> ❖ Agreed to comply with.
iii	Construction site shall be adequately barricaded before the construction begins. Dust, smoke & other air pollution prevention measures shall be provided for the building as well as the site.	<ul style="list-style-type: none"> ❖ Construction work not yet started. ❖ Construction site will be adequately barricaded prior to the construction starts. ❖ Tarpaulin sheet will be provided as a cover

	These measures shall include screens for the building under construction, continuous dust/ wind breaking walls all around the site (at least 3 meter height). Plastic/tarpaulin sheet covers shall be provided for vehicles bringing in sand, cement, murram and other construction materials prone to causing dust pollution at the site as well as taking out debris from the site. Sand, murram, loose soil, cement, stored on site shall be covered adequately so as to prevent dust pollution. Wet jet shall be provided for grinding and stone cutting. Unpaved surfaces and loose soil shall be adequately sprinkled with water to suppress dust.	for vehicles bringing in sand & cement for building construction. ❖ Will adequately sprinkled with water to suppress dust.
iv	All construction and demolition debris shall be stored at the site (and not dumped on the roads or open spaces outside) before they are properly disposed. All demolition and construction waste shall be managed as per the provisions of the Construction and Demolition Waste Rules, 2016. All workers working at the construction site and involved in loading, unloading, carriage of construction material and construction debris or working in any area with dust pollution shall be provided with dust mask.	❖ Construction work not yet started. ❖ All construction / demolition debris will be properly stored at project site and disposed off to authorized landfill site with prior permission from MCGM. ❖ All demolition / construction waste will be managed as per the provisions of the Construction and Demolition Waste Rules, 2016. ❖ Suitable dust mask will be provided to construction workers working at site.
v	At least 20% of the open spaces as required by the local building bye-laws shall be pervious. Use of Grass pavers, paver blocks with at least 50% opening, landscape etc. would be considered as pervious surface.	❖ Agreed to comply with.
vi	Compliance with the Energy Conservation Building Code (ECBC) of Bureau of Energy Efficiency shall be ensured. Buildings in the States which have notified their own ECBC, shall comply with the State ECBC. Outdoor and common area lighting shall be LED. Concept of passive solar design that minimize energy consumption in buildings by using design elements, such as building orientation , landscaping, efficient building envelope, appropriate fenestration , increased day lighting design and thermal mass etc. shall be incorporated in the building design. Wall, window, and roof u-values shall be as per ECBC specifications.	❖ Agreed to comply with.
vii	Use of water saving devices/ fixtures (viz. low flow flushing systems; use of low flow faucets tap aerators etc) for water conservation shall be incorporated in the building plan.	❖ Construction work not yet started. ❖ Low flow type devices, dual flush cisterns will be used for buildings for water conservation.

viii	Installation of dual pipe plumbing for supplying fresh water for drinking, cooking and bathing etc and other for supply of recycled water for flushing, landscape irrigation, car washing, thermal cooling, conditioning etc. shall be done.	<ul style="list-style-type: none"> ❖ Construction work not yet started. ❖ Dual plumbing line will be provided for buildings.
ix	Sewage shall be treated in the STP (with tertiary treatment preferably Ultra filtration). The treated effluent from STP shall be recycled/re-used for flushing, horticulture & DG cooling. Excess treated water shall be discharged as per CPCB norms.	<ul style="list-style-type: none"> ❖ Construction work not yet started. ❖ Adequate capacity of STP will be provided to treat waste water. ❖ Further, treated sewage will be re-used for flushing & gardening to reduce fresh water demand.
x	No sewage/treated effluent from the project site shall be discharged into nearby lake/pond.	<ul style="list-style-type: none"> ❖ Construction work not yet started. ❖ Adequate capacity of STP will be provided to treat waste water. ❖ Further, treated sewage will be re-used for flushing & gardening to reduce fresh water demand.
xi	The local bye-law provisions on rain water harvesting should be followed. If local bye-law provision is not available, adequate provision for storage and recharge should be followed as per the Ministry of Urban Development Model Building Byelaws, 2016. As proposed, rooftop rainwater of buildings shall be collected in 3 Nos. RWH tanks of total 40 KL capacity for harvesting after filtration.	<ul style="list-style-type: none"> ❖ Rooftop rainwater from building will be collected in 3 nos of RWH tanks of total 40 KL capacities for harvesting purpose.
xii	Separate wet and dry bins must be provided in each unit and at the ground level for facilitating segregation of waste. Solid waste shall be segregated into wet garbage and inert materials. Wet garbage shall be composted in Organic Waste Converter. As proposed, 80 M ² of space shall be provided for solid waste management within the premises which will include area for segregation, composting. The inert waste from group housing project will be sent to dumping site at MCGM.	<ul style="list-style-type: none"> ❖ Separate wet and dry bins will be provided at source generation to collect biodegradable and non-biodegradable waste from project site. ❖ Biodegradable waste will be treated in Organic Waste Converter during operation phase. ❖ Non-biodegradable waste will be segregated properly and sent to local solid waste Management facility on daily basis.
xiii	Solar based electric power shall be provided to each unit for at least two bulbs/light and one fan. As proposed, central lighting and street lighting shall also be based on solar power.	<ul style="list-style-type: none"> ❖ Noted.
xiv	A First Aid Room shall be provided in the project both during construction and operations of the project.	<ul style="list-style-type: none"> ❖ First Aid facility will be provided during construction of the project.
xv	Top soil should be stripped to a depth of 20 mm from the areas proposed for buildings,	<ul style="list-style-type: none"> ❖ Since, this is a redevelopment project, top soil will be negligible.

	roads, paved areas, and external services. It should be stockpiled appropriately in designated areas and reapplied during plantation of the proposed vegetation on site.	
xvi	Disposal of muck during construction phase shall not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	❖ Excavated soil will be stock piled and will be used for back filling and plot leveling within the project site.
xvi i	The diesel generator sets to be used during construction phase shall be low sulphur diesel type and shall conform to Environmental (Protection) prescribed for air and noise emission standards.	❖ Construction work not yet started.
xvi ii	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.	❖ Construction work not yet started.
xix	During construction phase, total water requirement is expected to be 12 KLD for workers and 10-20 KLD for construction activity which will be met by M.C.G.M. and tanker respectively. During construction phase the waste water will be disposed to existing municipal sewer line. Temporary sanitary toilets will be provided during peak labor force.	❖ Construction work not yet started.
xx	As proposed, no ground water shall be used during construction/ operation phase of the project.	❖ No extraction of ground water for construction and in operation phase also we are not planning to withdraw ground water for any purpose in future, hence permission from CGWA is not applicable.
xxi	Approval of the CGWA require before any dewatering for basements.	❖ No extraction of ground water for construction and in operation phase also we are not planning to withdraw ground water for any purpose in future, hence permission from CGWA is not applicable.
xxi i	The approval of the Competent Authority shall be obtained for structural safety of buildings due to earthquakes, adequacy of firefighting equipment etc as per National Building Code including protection measures from lightening etc.	❖ Chief Fire Officer, Mumbai Fire Brigade, MCGM, Mumbai issued Fire NOC for the project vide letter no. FB/HR/R-IV/389, dated: 17/10/2016. ❖ Mr. Achyut Watve, Structural Engineer issued Structural stability certificate vide letter no. TCN/161035/2016-2017/1237, dated: 12/10/2016. ❖ Please refer Annexure - 5 for structural Stability certificate. ❖ MCGM issued Sewerage Remarks for

		<p>proposed building vide letter no. EE. MECH/MS/4231/WS, dated: 10/10/2016.</p> <p>❖ Please refer Annexure - 6 for sewage Remarks.</p>
xxi ii	Any hazardous waste generated during construction phase, shall be disposed off as per applicable rules and norms with necessary approvals of the State Pollution Control Board.	❖ Construction work not yet started.
xxi v	Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards be operated only during non-peak hours.	<p>❖ Agreed to comply with.</p> <p>❖ Construction work is not yet started; hence, PUC certificates are not provided.</p>
xx v	Ambient noise levels shall conform to residential standards both during day and night as per Noise Pollution (Control and Regulation) Rules, 2000. Incremental pollution loads on the ambient air and noise quality shall be closely monitored during construction phase. Adequate measures shall be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB I SPCB.	❖ Due to Nationwide lockdown in view of Covid-19 Pandemic, we have not conducted Environmental monitoring hence cannot provide Environmental monitoring reports for the period from April 2020 to September 2020.
xx vi	Use of environment friendly materials in bricks, blocks and other construction materials, shall be required for at least 20% of the construction material quantity. These include Fly Ash bricks, hollow bricks, AACs, Fly Ash Lime Gypsum blocks, Compressed earth blocks, and other environment friendly materials. Fly ash should be used as building material in the construction as per the provision of Fly Ash Notification of September, 1999 and amended as on 27th August, 2003 and 25th January, 2016. Ready mixed concrete must be used in building construction.	<p>❖ Construction work not yet started.</p> <p>❖ Ready Mixed Concrete will be used in building construction.</p>
xx vii	A comprehensive mobility plan, as per MoUD best practices guidelines (URDPFI), shall be prepared to include motorized, non-motorized, public, and private networks. Road should be designed with due consideration for environment, and safety of users. The road system can be designed with these basic criteria. Hierarchy of roads with proper segregation of vehicular and pedestrian traffic. Traffic calming measures Proper design of entry and exit points. Parking norms as per local regulation	❖ Agreed to comply with.

II. Operational Phase		
i	The gaseous emissions from DG set shall be dispersed through adequate stack height as per CPCB standards. Acoustic enclosure shall be provided to the DG sets to mitigate the noise pollution. Low sulphur diesel shall be used. The location of the DG set and exhaust pipe height shall be as per the provisions of the Central Pollution Control Board (CPCB) norms.	❖ CPCB approved DG sets will be provided during operation phase for backup purpose.
ii	For indoor air quality the ventilation provisions as per National Building Code of India.	❖ Noted.
iii	Fresh water requirement from MCGM water supply shall not be exceed 95m3/day	❖ Noted.
iv	The quantity of fresh water usage, water recycling and rainwater harvesting shall be measured and recorded to monitor the water balance as projected by the project proponent. The record shall be submitted to the Regional Office, MoEF & CC along with six monthly Monitoring reports.	❖ Agreed to comply with.
v	The installation of the Sewage Treatment Plant (STP) shall be certified by an independent expert and a report in this regard shall be submitted to the Ministry before the project is commissioned for operation. Periodical monitoring of water quality of treated sewage shall be conducted. Necessary measures should be made to mitigate the odour problem from STP.	❖ Construction work not yet started. ❖ Adequate capacity of STP will be provided to treat waste water. ❖ Further, treated sewage will be re-used for flushing & gardening to reduce fresh water demand.
vi	No sewage or untreated effluent water would be discharged through storm water drains.	❖ Adequate capacity of STP will be provided to treat waste water. ❖ Further, treated sewage will be re-used for flushing & gardening to reduce fresh water demand.
vii	Sludge from the onsite sewage treatment, including septic tanks, shall be collected, conveyed and disposed as per the Ministry of Urban Development, Central Public Health and Environmental Engineering Organization (CPHEEO) Manual on Sewerage and Sewage Treatment Systems, 2013.	❖ Sludge from Sewage Treatment Plant will be collected properly and it will be used in garden as manure.
viii	The provisions of the Solid Waste (Management) Rules, 2016, e-Waste (Management) Rules, 2016, and the Plastics Waste (Management) Rules, 2016 shall be followed.	❖ Noted.
ix	Solar power shall be used for lighting in the apartment to reduce the power load on grid.	❖ Noted.

	Separate electric meter shall be installed for solar power. Solar water heaters shall be used to meet hot water demand, as far as possible.	
x	Energy conservation measures like installation of CFLs/ LED for the lighting the area outside the building should be integral part of the project design and should be in place before project commissioning. Used CFLs, TFL and LED shall be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination.	Energy conservation measures are as follows; <ul style="list-style-type: none"> ❖ The Energy generated equivalent to 2 lights & 1 fan per flat by Solar panels will be supplied to the Gird. ❖ Provision of electronic ballast ❖ High efficiency pumps & motors ❖ Use Low wattage LED fixtures in common area.
xi	A minimum of 1 tree for every 80 sq.mt.of land should be planted and maintained .The existing trees will be counted for this purpose. Preference should be given to planting native species. Where the trees need to be cut, compensatory plantation in the ratio of 1:3 (i.e. planting of 3 trees for every 1 tree that is cut) shall be done and maintained. Area earmarked for green belt is 1024 m2.	<ul style="list-style-type: none"> ❖ Green belt will be developed with new plantation of different of trees.
PART B-GENERAL CONDITIONS		
i	A copy of the environmental clearance letter shall also be displayed on the website of the concerned State Pollution Control Board. The EC letter shall also be displayed at the Regional Office, District Industries centre and Collector's Office/ Tehsildar office for 30 days.	<ul style="list-style-type: none"> ❖ Environment clearance copy submitted to MCGM.
ii	The funds earmarked for environmental protection measures shall be kept in separate account and shall not be diverted for other purpose. Year-wise expenditure shall be reported to this Ministry and its concerned Regional Office.	<p>Separate funds have been allocated for implementation of Environmental protection measures;</p> <p>During construction phase;</p> <ul style="list-style-type: none"> ❖ Rs. 38.02 Lakhs have been allocated for the entire construction period. <p>During operation phase;</p> <ul style="list-style-type: none"> ❖ Capital cost: Rs. 145.89 Lakhs & ❖ O & M cost: Rs. 31.87 Lakhs per annum.
iii	Officials from the Regional Office of MoEF & CC, Nagpur who would be monitoring the implementation of environmental safeguards should be given full cooperation, facilities and documents/data by the project proponents during their inspection. A complete set of all the documents submitted to MoEF & CC shall be forwarded to the APCCF, Regional Office of MoEF & CC, Nagpur.	<ul style="list-style-type: none"> ❖ Submitting six monthly compliance reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Vadodara. ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.

iv	In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Ministry.	❖ Noted.
v	The Ministry reserves the right to add additional safeguard measures subsequently, if found necessary, and to take action including revoking of the environment clearance under the provisions of the Environmental (Protection) Act, 1986, to ensure effective implementation of the suggested safeguard measures in a time bound and satisfactory manner.	❖ Noted.
vi	All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire Department, Civil Aviation Department, the Forest Conservation Act, 1980 and the Wildlife (Protection) Act, 1972 etc. shall be obtained, as applicable by project proponents from the respective competent authorities.	❖ Chief Fire Officer, Mumbai Fire Brigade, MCGM, Mumbai issued Fire NOC for the project vide letter no. FB/HR/R-IV/389, dated: 17/10/2016.
vii	These stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act 1981, the Environment (Protection) Act, 1986, the Public Liability (Insurance) Act, 1991 and the EIA Notification, 2006.	❖ MPCB granted consent to establish for the project vide order no. Format 1.0/BO/JD(WPC)/UAN No. 84004/CE/CC-2003000250, dated: 04/03/2020.
viii	The project proponent shall advertise in at least two local Newspapers widely circulated in the region, one of which shall be in the vernacular language informing that the project has been accorded Environmental Clearance and copies of clearance letters are available with the State Pollution Control Board and may also be seen on the website of the Ministry of Environment, Forest and Climate Change at http://www.envfor.nic.in . The advertisement shall be made within Seven days from the date of receipt of the Clearance letter and a copy of the same shall be forwarded to the Regional Office of this Ministry at Nagpur.	❖ After getting Environment clearance from MoEF & CC, Govt. of India vide file no. 21-31/2016-IA-III, dated: 02/06/2017, we published public notice in local Navshakti (Marathi) & The Free Press Journal newspapers. ❖ Please refer Annexure – 7 for Advertisement copy.
ix	Any appeal against this clearance shall lie with the National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	❖ Noted.
x	This Clearance is subject to final order of the Hon'ble Supreme Court of India in the matter of	❖ Noted.

	Goa Foundation v/s. Union of India in Writ Petition (Civil) No. 460 of 2004 as may be application to this project.	
xi	A copy of the clearance letter shall be sent by the proponent to concerned Panchayat, Zilla Parishad/Municipal Corporation, Urban Local Body and the Local NGO, if any, from whom suggestions/ representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the company by the proponent.	❖ Environment clearance copy submitted to MCGM.
xii	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF & CC, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sectoral parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	❖ Submitting six monthly compliance reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Vadodara. ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.
xiii	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF & CC by email.	❖ Environmental statement has been submitted for the FY 2020-21 on MPCB Web portal.
xiv	This issues with the approval of the Competent Authority	❖ Noted.

**Compliance as per
Monitoring the Implementation of Environmental Safeguards
Ministry of Environment, Forests & Climate Change
Regional Office (WCZ), Nagpur**

Monitoring Report

DATA SHEET

1.	Project type: River - valley/ Mining / Industry / Thermal / Nuclear / Other (specify)	:	Construction project
2.	Name of the project	:	❖ Redevelopment of 'Sagar Vaibhav Co-op Housing Society Ltd.' at Dahisar (west), Borivali, Mumbai.
3.	Clearance letter (s) / OM No. and Date	:	❖ Obtained Environment clearance from MoEF & CC, Govt. of India for the project vide file no. 21-31/2016-IA-III, dated: 02/06/2017.
4.	Location		
	a.	District (S)	: Mumbai.
	b.	State (s)	: Maharashtra.
	c.	Latitude/ Longitude	: Latitude : 19°14'56.16" N Longitude : 72°51'15.72" E
5.	Address for correspondence		
	a.	Address of Concerned Project Chief Engineer (with pin code & Telephone / telex / fax numbers	: Mr. Niren Chaudhary, (Project Director) M/s. Kolte-Patil Developers Ltd. 501, 5 th floor, The Capital, Plot no. C70, G-Block, Bandra-Kurla complex, Bandra (East), Mumbai – 400 051. Telephone no. 022-6177 0100 Mobile no. 85509 96875 Fax no. 022-6177 0100 Email ID: gopal.sarda@koltepatil.com
	b.	Address of Executive Project: Engineer/Manager (with pincode/ Fax numbers)	: Mr. Mr. Shiva Pasare M/s. Kolte-Patil Developers Ltd. 501, 5th floor, The Capital, Plot no. C70, G-Block, Bandra-Kurla complex, Bandra (East), Mumbai – 400 051. Telephone no. 022-6177 0100 Mobile no. 7767011891 Fax no. 022-6177 0100 Email ID: shiva.pasare@koltepatil.com

6.	Salient features		
a.	of the project	:	<ul style="list-style-type: none"> ❖ Redevelopment project. ❖ The project will comprise 1 building with three wings 'A', 'B' & 'C'. ❖ Total flats: 211 nos.
b.	of the environmental management plans	:	<p>Separate funds have been allocated for implementation of Environmental protection measures;</p> <p>During construction phase;</p> <ul style="list-style-type: none"> ❖ Rs. 38.02 Lakhs have been allocated for the entire construction period. <p>During operation phase;</p> <ul style="list-style-type: none"> ❖ Capital cost: Rs. 145.89 Lakhs & ❖ O & M cost: Rs. 31.87 Lakhs per annum.
7.	Breakup of the project area		
a.	Submergence area forest & non-forest	:	Not applicable.
b.	Others	:	<ul style="list-style-type: none"> ❖ FSI area: 12,472.91 Sq. meters (Including fungible area). ❖ Non-FSI area: 9,873.51 Sq. meters. ❖ Total BUA area: 22,346.42 Sq. meters.
8.	Breakup of the project affected Population with enumeration of Those losing houses / dwelling units Only agricultural land only, both Dwelling units & agricultural Land & landless labourers/artisan	:	Not Applicable.
a.	SC, ST/Adivasis	:	Not Applicable.
b.	Others (Please indicate whether these Figures are based on any scientific And systematic survey carried out Or only provisional figures, it a Survey is carried out give details And years of survey)	:	Not Applicable.
9.	Financial details		
a.	Project cost as originally planned and subsequent revised estimates and the year of price reference :	:	Rs. 99.67 Crores

	b.	Allocation made for environ-mental management plans with item wise and year wise Break-up.	:	<p>Separate funds have been allocated for implementation of Environmental protection measures;</p> <p>During construction phase;</p> <p>❖ Rs. 38.02 Lakhs have been allocated for the entire construction period.</p> <p>During operation phase;</p> <p>❖ Capital cost: Rs. 145.89 Lakhs &</p> <p>❖ O & M cost: Rs. 31.87 Lakhs per annum.</p>
	c.	Benefit cost ratio/Internal rate of Return and the year of assessment	:	--
	d.	Whether (c) includes the Cost of environmental management as shown in the above.	:	--
	e.	Actual expenditure incurred on the project so far	:	Construction work is not yet started.
	f.	Actual expenditure incurred on the environmental management plans so far.	:	Rs. 3.25 Lakhs
10.	Forest land requirement			
	a.	The status of approval for diversion of forest land for non-forestry use	:	Not Applicable.
	b.	The status of clearing felling	:	Not Applicable.
	c.	The status of compensatory afforestation program in the light of actual field experience.	:	Not Applicable.
11.	The status of clear felling in Non-forest areas (such as submergence area of reservoir, approach roads), it any with quantitative information		:	Not Applicable.
12.	Status of construction		:	Construction work is not yet started.
	a.	Date of commencement (Actual and/or planned)	:	Construction work is not yet started.
	b.	Date of completion (Actual and/or planned)	:	30/12/2023 (Planned)
13.	Reasons for the delay if the Project is yet to start		:	Mumbai High Court Dumping Ground order
14.	Dates of site visits			

	a.	The dates on which the project was monitored by the Regional Office on previous Occasions, if any	:	❖ Request letter for site inspection was sent to Regional Office, MoEF & CC, Nagpur vide letter dated: 22/07/2019.
	b.	Date of site visit for this monitoring report	:	❖ As per request letter Mr. Suresh Kumar Adapa Scientist 'D', Regional Office, MoEF & CC, Nagpur visited project site on 04/09/2019 to certify the compliance report.
15.		Details of correspondence with Project authorities for obtaining Action plans/information on Status of compliance to safeguards Other than the routine letters for Logistic support for site visits. (The first monitoring report may contain the details of all the Letters issued so far, but the Later reports may cover only the Letters issued subsequently.)	:	❖ Request letter for site inspection was sent to Regional Office, MoEF & CC, Nagpur vide letter dated: 22/07/2019. ❖ As per request letter Mr. Suresh Kumar Adapa Scientist 'D', Regional Office, MoEF & CC, Nagpur visited project site on 04/09/2019 to certify the compliance report and submitted monitoring report vide letter dated: 03/10/2019.

F.No.21-31/2016-IA-III
Government of India
Ministry of Environment, Forest and Climate Change
(IA.III Section)

Indira Paryavaran Bhawan,
Jor Bagh Road, New Delhi - 3

Date: 2nd June, 2017

To,

The Deputy Project Director,
M/s Kolte-Patil Developers Ltd,
501, 5th Floor, The Capital, Plot No. C70, G-Block,
Bandra Kurla Complex, Bandra (East),
Mumbai - 400051 (Maharashtra)

Email: gopal.sarda@koltepatil.com
Fax: 022 61770100

Subject: Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd' at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) by M/s Kolte-Patil Developers Ltd - Environmental Clearance - reg.

Sir,

This has reference to your online proposal No. IA/MH/NCP/60056/2016 dated 28th October, 2016, submitting the above proposal to this Ministry for grant of Environmental Clearance (EC) in term of the provisions of the Environment Impact Assessment (EIA) Notification, 2006 under the Environment (Protection) Act, 1986.

2. The proposal for grant of environmental clearance to the project **'Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd'** at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) promoted by M/s Kolte-Patil Developers Ltd. was considered by the Expert Appraisal Committee (Infra-2) in its meetings held on 24th - 25th November, 2016 and 23rd - 25th January, 2017. The details of the project, as per the documents submitted by the project proponent, and also as informed during the above meeting, are under:-

- (i) The project involves redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd' at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai Suburban, Mumbai (Maharashtra) promoted by M/s Kolte-Patil Developers Ltd. The project is located at 19°14'56.16"N Latitude and 72°51'15.72"E Longitude.
- (ii) Total plot area is 4,994.70 m². The project will comprise of 1 building with three wings. FSI area is 12,472.91 Sq.mt. (including fungible area). The total built up area is 22,346.42 m². Project is in Jurisdiction of Municipal Corporation of Greater Mumbai (M.C.G.M.). The building configuration is as given below:

1 Building with 3 Wings; Total Flats: 211 Nos.	Height (up to terrace level)
Wing A: Lower Ground + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.
Wing B: Basement + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.
Wing C: Basement + Ground + Podium + 18 Floors + 19 th Floor (Pt.)	69.95 mt.

- (iii) Total water requirement will be 145 m³/day. Out of which, fresh water requirement from MCGM will be 95 m³/day and remaining water requirement (50 m³/day) will be met from recycled/treated effluent. Excess treated effluent will be discharged into existing sewer line. Sewage (123 m³/day) will be treated in the STP. Treated sewage will be recycled for flushing and horticulture purpose.
- (iv) Solid waste generation will be 472 kg/day, out of which, quantity of biodegradable solid waste is 332 kg/day and non-biodegradable waste is 142 kg/day, biodegradable waste will be treated in Organic Waste Converter. Space earmarked for solid waste management is 80 m².
- (v) Power requirement will be 1785 kW. DG set (1 x 500 KVA) will be installed for emergency power supply.
- (vi) Total 80 trees to be cut. 32 existing trees to be retained.
- (vii) Parking facility 209 nos. and 20 nos. will be provided for car and two wheelers respectively.
- (viii) Rooftop rainwater of buildings will be collected in 3 Nos. RWH tanks of total 40 KLD capacities for harvesting after filtration.
- (ix) Proposed energy saving measures would save about 20% of power.
- (x) It is reported that Sanjay Gandhi National Park and Tungareshwar Sanctuary are located at a distance of 2.0 km and 12 km respectively. Water bodies namely Vasai Creek, Dahisar River, Manori Creek, Tulsi Lake, Malad creek, Yeoor Lake, Vihar Lake, Upvan Lake, Kachrali Lake, Siddheshwar Lake, Raila Devi Lake, Masunda Lake, Rewale Lake, Powai Lake, Bramhala Lake, Jail Lake, Ambe Bhosale Lake, Hariyali Lake, Ulhas River and Arabian Sea are located within 15 km distance.
- (xi) There is no court case pending against the project.
- (xii) **Investment/ Cost** of the project is Rs. 99.67 Crores.
- (xiii) **Employment Potential:** During construction phase, 150 Nos. & some household and domestic servants during operation phase.
- (xiv) **Benefits of the project:** Redevelopment project.

4. The EAC, in its meeting held on 23rd – 25th January, 2017, after detailed deliberations on the proposal, has recommended for grant of Environmental Clearance to the project. As per recommendations of the EAC, the Ministry of Environment, Forest and Climate Change hereby accords Environmental Clearance to the project **Redevelopment of 'Sagar Vaibhav Co-Op Housing Society Ltd'** at plot bearing CTS no. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Laxman Mhatre Road, Dahisar (West), Tehsil Borivali, District Mumbai

Suburban, Mumbai (Maharashtra) by M/s Kolte-Patil Developers Ltd, under the provisions of the EIA Notification, 2006 and amendments/circulars issued thereon, and subject to the specific and general conditions as under:-

PART A – SPECIFIC CONDITIONS:

I. Construction Phase

- (i) The project proponent shall obtain all necessary clearance/ permission from all relevant agencies including town planning authority before commencement of work. All the construction shall be done in accordance with the local building byelaws.
- (ii) The natural drain system should be maintained for ensuring unrestricted flow of water. No construction shall be allowed to obstruct the natural drainage through the site, on wetland and water bodies. Check dams, bio-swales, landscape, and other sustainable urban drainage systems (SUDS) are allowed for maintaining the drainage pattern and to harvest rain water. Buildings shall be designed to follow the natural topography as much as possible. Minimum cutting and filling should be done.
- (iii) Construction site shall be adequately barricaded before the construction begins. Dust, smoke & other air pollution prevention measures shall be provided for the building as well as the site. These measures shall include screens for the building under construction, continuous dust/ wind breaking walls all around the site (at least 3 meter height). Plastic/tarpaulin sheet covers shall be provided for vehicles bringing in sand, cement, murram and other construction materials prone to causing dust pollution at the site as well as taking out debris from the site. Sand, murram, loose soil, cement, stored on site shall be covered adequately so as to prevent dust pollution. Wet jet shall be provided for grinding and stone cutting. Unpaved surfaces and loose soil shall be adequately sprinkled with water to suppress dust.
- (iv) All construction and demolition debris shall be stored at the site (and not dumped on the roads or open spaces outside) before they are properly disposed. All demolition and construction waste shall be managed as per the provisions of the Construction and Demolition Waste Rules, 2016. All workers working at the construction site and involved in loading, unloading, carriage of construction material and construction debris or working in any area with dust pollution shall be provided with dust mask.
- (v) At least 20% of the open spaces as required by the local building bye-laws shall be pervious. Use of Grass pavers, paver blocks with at least 50% opening, landscape etc. would be considered as pervious surface.
- (vi) Compliance with the Energy Conservation Building Code (ECBC) of Bureau of Energy Efficiency shall be ensured. Buildings in the States which have notified their own ECBC, shall comply with the State ECBC. Outdoor and common area lighting shall be LED. Concept of passive solar design that minimize energy consumption in buildings by using design elements, such as building orientation, landscaping, efficient building envelope, appropriate fenestration, increased day lighting design and thermal mass etc. shall be incorporated in the building design. Wall, window, and roof u-values shall be as per ECBC specifications.



- (vii) Use of water saving devices/ fixtures (viz. low flow flushing systems; use of low flow faucets tap aerators etc) for water conservation shall be incorporated in the building plan.
- (viii) Installation of dual pipe plumbing for supplying fresh water for drinking, cooking and bathing etc and other for supply of recycled water for flushing, landscape irrigation, car washing, thermal cooling, conditioning etc. shall be done.
- (ix) Sewage shall be treated in the STP (with tertiary treatment preferably Ultra filtration). The treated effluent from STP shall be recycled/re-used for flushing, horticulture & DG cooling. Excess treated water shall be discharged as per CPCB norms.
- (x) No sewage/treated effluent from the project site shall be discharged into nearby lake/pond.
- (xi) The local bye-law provisions on rain water harvesting should be followed. If local bye-law provision is not available, adequate provision for storage and recharge should be followed as per the Ministry of Urban Development Model Building Byelaws, 2016. As proposed, rooftop rainwater of buildings shall be collected in 3 Nos. RWH tanks of total 40 KL capacity for harvesting after filtration.
- (xii) Separate wet and dry bins must be provided in each unit and at the ground level for facilitating segregation of waste. Solid waste shall be segregated into wet garbage and inert materials. Wet garbage shall be composted in Organic Waste Converter. As proposed, 80 m² of space shall be provided for solid waste management within the premises which will include area for segregation, composting. The inert waste from group housing project will be sent to dumping site at MCGM.
- (xiii) Solar based electric power shall be provided to each unit for at least two bulbs/light and one fan. As proposed, central lighting and street lighting shall also be based on solar power.
- (xiv) A First Aid Room shall be provided in the project both during construction and operations of the project.
- (xv) Topsoil should be stripped to a depth of 20 cm from the areas proposed for buildings, roads, paved areas, and external services. It should be stockpiled appropriately in designated areas and reapplied during plantation of the proposed vegetation on site.
- (xvi) Disposal of muck during construction phase shall not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- (xvii) The diesel generator sets to be used during construction phase shall be low sulphur diesel type and shall conform to Environmental (Protection) prescribed for air and noise emission standards.
- (xviii) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xix) During construction phase, total water requirement is expected to be 12 KLD for workers and 10-20 KLD for construction activity which will be met by M.C.G.M. and tanker respectively. During construction phase the waste water will be disposed to existing municipal sewer line. Temporary sanitary toilets will be provided during peak labor force.

- (xx) As proposed, no ground water shall be used during construction/ operation phase of the project.
- (xxi) Approval of the CGWA require before any dewatering for basements.
- (xxii) The approval of the Competent Authority shall be obtained for structural safety of buildings due to earthquakes, adequacy of firefighting equipment etc as per National Building Code including protection measures from lightening etc.
- (xxiii) Any hazardous waste generated during construction phase, shall be disposed off as per applicable rules and norms with necessary approvals of the State Pollution Control Board.
- (xxiv) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards be operated only during non-peak hours.
- (xxv) Ambient noise levels shall conform to residential standards both during day and night as per Noise Pollution (Control and Regulation) Rules, 2000. Incremental pollution loads on the ambient air and noise quality shall be closely monitored during construction phase. Adequate measures shall be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB / SPCB.
- (xxvi) Use of environment friendly materials in bricks, blocks and other construction materials, shall be required for at least 20% of the construction material quantity. These include Fly Ash bricks, hollow bricks, AACs, Fly Ash Lime Gypsum blocks, Compressed earth blocks, and other environment friendly materials. Fly ash should be used as building material in the construction as per the provision of Fly Ash Notification of September, 1999 and amended as on 27th August, 2003 and 25th January, 2016. Ready mixed concrete must be used in building construction.
- (xxvii) A comprehensive mobility plan, as per MoUD best practices guidelines (URDPFI), shall be prepared to include motorized, non-motorized, public, and private networks. Road should be designed with due consideration for environment, and safety of users. The road system can be designed with these basic criteria.
 - Hierarchy of roads with proper segregation of vehicular and pedestrian traffic.
 - Traffic calming measures
 - Proper design of entry and exit points.
 - Parking norms as per local regulation

II. Operational Phase

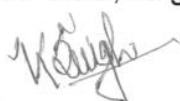
- (i) The gaseous emissions from DG set shall be dispersed through adequate stack height as per CPCB standards. Acoustic enclosure shall be provided to the DG sets to mitigate the noise pollution. Low sulphur diesel shall be used. The location of the DG set and exhaust pipe height shall be as per the provisions of the Central Pollution Control Board (CPCB) norms.
- (ii) For indoor air quality the ventilation provisions as per National Building Code of India.
- (iii) Fresh water requirement from MCGM water supply shall not exceed 95 m³/day.



- (iv) The quantity of fresh water usage, water recycling and rainwater harvesting shall be measured and recorded to monitor the water balance as projected by the project proponent. The record shall be submitted to the Regional Office, MoEF&CC along with six monthly Monitoring reports.
- (v) The installation of the Sewage Treatment Plant (STP) shall be certified by an independent expert and a report in this regard shall be submitted to the Ministry before the project is commissioned for operation. Periodical monitoring of water quality of treated sewage shall be conducted. Necessary measures should be made to mitigate the odour problem from STP.
- (vi) No sewage or untreated effluent water would be discharged through storm water drains.
- (vii) Sludge from the onsite sewage treatment, including septic tanks, shall be collected, conveyed and disposed as per the Ministry of Urban Development, Central Public Health and Environmental Engineering Organization (CPHEEO) Manual on Sewerage and Sewage Treatment Systems, 2013.
- (viii) The provisions of the Solid Waste (Management) Rules, 2016, e-Waste (Management) Rules, 2016, and the Plastics Waste (Management) Rules, 2016 shall be followed.
- (ix) Solar power shall be used for lighting in the apartment to reduce the power load on grid. Separate electric meter shall be installed for solar power. Solar water heaters shall be used to meet hot water demand, as far as possible.
- (x) Energy conservation measures like installation of CFLs/ LED for the lighting the area outside the building should be integral part of the project design and should be in place before project commissioning. Used CFLs, TFL and LED shall be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination.
- (xi) A minimum of 1 tree for every 80 sq.mt. of land should be planted and maintained. The existing trees will be counted for this purpose. Preference should be given to planting native species. Where the trees need to be cut, compensatory plantation in the ratio of 1:3 (i.e. planting of 3 trees for every 1 tree that is cut) shall be done and maintained. Area earmarked for green belt is 1024 m².


PART B - GENERAL CONDITIONS

- (i) A copy of the environmental clearance letter shall also be displayed on the website of the concerned State Pollution Control Board. The EC letter shall also be displayed at the Regional Office, District Industries centre and Collector's Office/ Tehsildar's office for 30 days.
- (ii) The funds earmarked for environmental protection measures shall be kept in separate account and shall not be diverted for other purpose. Year-wise expenditure shall be reported to this Ministry and its concerned Regional Office.
- (iii) Officials from the Regional Office of MoEF&CC, Nagpur who would be monitoring the implementation of environmental safeguards should be given full cooperation, facilities and documents/data by the project proponents during their inspection. A complete set of all the documents submitted to MoEF&CC shall be forwarded to the APCCF, Regional Office of MoEF&CC, Nagpur.




- (iv) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Ministry.
- (v) The Ministry reserves the right to add additional safeguard measures subsequently, if found necessary, and to take action including revoking of the environment clearance under the provisions of the Environment (Protection) Act, 1986, to ensure effective implementation of the suggested safeguard measures in a time bound and satisfactory manner.
- (vi) All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire Department, Civil Aviation Department, the Forest Conservation Act, 1980 and the Wildlife (Protection) Act, 1972 etc. shall be obtained, as applicable by project proponents from the respective competent authorities.
- (vii) These stipulations would be enforced among others under the provisions of the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act 1981, the Environment (Protection) Act, 1986, the Public Liability (Insurance) Act, 1991 and the EIA Notification, 2006.
- (viii) The project proponent shall advertise in at least two local Newspapers widely circulated in the region, one of which shall be in the vernacular language informing that the project has been accorded Environmental Clearance and copies of clearance letters are available with the State Pollution Control Board and may also be seen on the website of the Ministry of Environment, Forest and Climate Change at <http://www.envfor.nic.in>. The advertisement shall be made within Seven days from the date of receipt of the Clearance letter and a copy of the same shall be forwarded to the Regional Office of this Ministry at Nagpur.
- (ix) Any appeal against this clearance shall lie with the National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.
- (x) This Clearance is subject to final order of the Hon'ble Supreme Court of India in the matter of Goa Foundation v/s. Union of India in Writ Petition (Civil) No. 460 of 2004 as may be application to this project.
- (xi) A copy of the clearance letter shall be sent by the proponent to concerned Panchayat, Zilla Parishad/Municipal Corporation, Urban Local Body and the Local NGO, if any, from whom suggestions/ representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the company by the proponent.
- (xii) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF&CC, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sectoral parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
- (xiii) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF&CC by e-mail.

(xiv) This issues with the approval of the Competent Authority.


(Dr. Vinod K. Singh)
Scientist D

Copy to:

- 1) The Principal Secretary, Environment Department, Government of Maharashtra, 15th Floor, New Administrative Building, Mantralaya, Mumbai - 400 032
- 2) The APCCF (C), MoEF&CC, Regional Office (WCZ), Ground Floor, East Wing, New Secretariat Building, Civil Lines, Nagpur - 440001.
- 3) The Chairman, Central Pollution Control Board Parivesh Bhavan, CBD-cum-Office Complex, East Arjun Nagar, New Delhi - 110 032.
- 4) The Chairman, Maharashtra Pollution Control Board, Kalpataru Point, 3rd and 4th floor, Opp. Cine Planet, Sion Circle, Mumbai-400 022.
- 5) Monitoring Cell, MoEF&CC, Indira Paryavaran Bhavan, New Delhi.
- 6) Guard File/ Record File/ Notice Board.


(Dr. Vinod K. Singh)
Scientist D



MUNICIPAL CORPORATION OF GREATER MUMBAI

Intimation of Disapproval under Section 346 of the Mumbai Municipal Corporation Act, as amended up to date.

No. CHE/WSII/1096/R/N/337(NEW)

MEMORANDUM

Municipal Office,
Mumbai

To,

M/s. Kolte -Patil Developers Ltd. C.A. to Owner of M/s. Sagar Vaibhav CHS Ltd.

501,5th Floor, The Capital , Plot no. C-70,G- Block, bandra Kurla Complex, Bandra East
Mumbai-51

With reference to your Notice 337 (New) , letter No. 7760 dated. 10/3/2017 and the plans, Sections Specifications and description and further particulars and details of your buildings at Proposed redevelopment building on plot bearing C.T.S. No. 51 of Village Mandpeshwar at laxman Mhatre Marg, Dahisar (West), Mumbai-400 068., CTS NO.51 furnished to me under your letter, dated 10/3/2017. I have to inform you that, I cannot approve of the building or work proposed to be erected or executed, and I therefore hereby formally intimate to you, under Section 346 of the Mumbai Municipal Corporation Act as amended up to-date, my disapproval by reasons thereof :-

A: CONDITIONS TO BE COMPILED WITH BEFORE STARTING THE WORK.

- 1 That construction area shall exceed 20,000 mts. Without obtaining N.O.C. from MoEF.
- 2 That the Janata Insurance Policy shall not be submitted.
- 3 That the requisitions of clause 45 & 46 of DCR 91 shall not be complied with and records of quality of work, verification report, etc. shall not be maintained on site till completion of the entire work.
- 4 That the bore well shall not be constructed in consultation with H.E.
- 5 That the work shall not be carried out between sunrise and sunset and the provision of notification issued by Ministry of Environment and Forest department dated 14.2.2000 and Rules framed for noise pollution (Regulation & Control) Rules 2000 shall be duly observed.
- 6 That the Board shall not be displayed showing details of proposed work, name of owner, developer, architect, R.C.C. consultant etc.
- 7 That remarks from E.E. (M.& E.) for ventilation of basement & for A.V.S. shall be submitted.
- 8 That the registered undertaking from Developer/owner for handing over the society office & fitness center premises to the society/ association shall be submitted before C.C.
- 9 That the N.O.C. from Power Supply Co. for substation shall be submitted.
- 10 That the developer shall put a clause in sale agreement that purchaser are aware that the owner shall not have any objection if the neighboring plot owner comes for development with deficiency in open spaces and registered undertaking in this regards shall be submitted before C.C.
- 11 That the developer shall put a clause in sale agreement that purchaser are aware that the inadequate size of rooms are provided and registered undertaking in this regards shall be submitted before C.C.
- 12 That the registered undertaking shall be submitted agreeing to hand over excess parking spaces to M.C.G.M. free of cost in case of full permissible F.S.I. is not consumed.
- 13 That compliance of all the conditions mentioned in the notiifcation issued by Government of Maharashtra u/s 154(1) of MR&TP Act 1966 under No. TPS-1816/CR-443/16/RDirectives/UD-13 dated 13.4.2017, shall not be complied with & registerd undertaking to that effect shall not be submitted by the applicant/ owner.

C: CONDITIONS TO BE COMPILED BEFORE FURTHER C.C

- 1 That the plinth/stilt height shall not be got checked by this office staff.
- 2 That MoEF N.O.C. shall not be submitted even though construction area exceeds 20,000 smt.
- 3 All the payments as intimated by various departments of M.C.G.M. shall not be paid.
- 4 That the registered undertaking and additional copy of plan shall be submitted for agreeing to hand over the setback land free of compensation and that the setback handing over certificate shall be obtained from Ward Officer and the ownership of the setback land shall be transferred in the name of M.C.G.M.
- 5 That the amended Remarks of concerned authorities / empanelled consultants for the approved plan, if differing from the plans submitted for remarks ,shall not be submitted for S.W.D.,Parking, Roads, Sewerage, Water Works, Fire Fighting Provisions, Mechanical Ventilation, Tree authority, Hydraulic Engineer, P.C.O.
- 6 That the Material testing report shall not be submitted.
- 7 That the yearly/ monthly progress report of the work will not be submitted by the Architect.

D: GENERAL CONDITIONS TO BE COMPILED BEFORE O.C

- 1 That the low lying plot will not be filled up to a reduced level of at least 27.55 M Town Hall Datum or 0.15 m above adjoining road level whichever is higher with murum, earth, boulders etc. and will not be leveled, rolled, consolidated and sloped towards road side.
- 2 That Society Office permissible as per DCR before occupation for the building under reference shall not be constructed.
- 3 That Fitness Centre permissible as per DCR before occupation for the building under reference shall not be constructed.(if applicable)
- 4 That the dust bin will not be provided.
- 5 That 3.00 mt. wide paved pathway upto staircase will not be provided.
- 6 That the open spaces as per approval, parking spaces and terrace will not be kept open.
- 7 That the name plate/board showing Plot No., Name of the Bldg. etc. will not be displayed at a prominent place.
- 8 That carriage entrance shall not be provided as per design of registered structural engineer and carriage entrance fee shall not be paid.
- 9 That terraces, sanitary blocks, nahanis in kitchen will not be made Water proof and same will not be provided by method of pounding and all sanitary connections will not be leak proof and smoke test will not be done in presence of licensed plumber.
- 10 That final N.O.C. from concerned authorities / empanelled consultants for S.W.D.,Parking, Roads, Sewerage, Water Works, C.F.O. / Fire Fighting Provisions, Mechanical Ventilation, Tree authority, Hydraulic Engineer shall not be submitted before occupation.
- 11 That Structural Engineer's laminated final Stability Certificate along with upto date License copy and R.C.C. design canvas plan shall not be submitted.
- 12 That the separate vertical drain pipe, soil pipe, with a separate gully trap, water main, O.H. Tank, etc. for Maternity Home/Nursing Home, user will not be provided and that drainage system or the residential part of the building will not be affected if applicable.
- 13 That final plans shall not be submitted along with Notice of Completion of work u/sec. 353A of M.M.C. Act for work completed on site.
- 14 That Site Supervisor certificate for quality of work and completion of the work shall not be submitted in prescribed format.

- () That proper gutters and down pipes are not intended to be put to prevent water dropping from the leaves of the roof on the public street.
- () That the drainage work generally is not intended to be executed in accordance with the Municipal requirements.

Subject to your so modifying your intention as to obviate the before mentioned objections and meet by requirements, but not otherwise you will be at liberty to proceed with the said building or work at anytime before the day of but not so as to contrivance any of the provision of the said Act, as amended as aforesaid or any rule, regulations or bye-law made under that Act at the time In force.

Your attention is drawn to the Special Instructions and Note accompanying this Intimation of Disapproval.

**Executive Engineer, Building Proposals,
Zone, Wards.**

SPECIAL INSTRUCTIONS

1. **THIS INTIMATION GIVES NO RIGHT TO BUILD UPON GROUND WHICH IS NOT YOUR PROPERTY.**
2. Under Section 68 of the Bombay Municipal Corporation Act, as amended, the Municipal Commissioner for Greater Mumbai has empowered the City Engineer to exercise, perform and discharge the powers, duties and functions conferred and imposed upon and vested in the Commissioner by Section 346 of the said Act.
3. Under Byelaw, No. 8 of the Commissioner has fixed the following levels :-
"Every person who shall erect as new domestic building shall cause the same to be built so that every part of the plinth shall be-
 - a) Not less than, 2 feet (60 cms.) above the center of the adjoining street at the nearest point at which the drain from such building can be connected with the sewer than existing or thereafter to be- laid in such street
 - b) Not less than 2 feet (60 cms.) Above every portion of the ground within 5 feet (160 cms.)-of such building.
 - c) Not less than 92 ft. ([!TownHall]) above Town Hall Datum.
4. Your attention is invited to the provision of Section 152 of the Act whereby the person liable to pay property taxes is required to give notice of erection of a new building or occupation of building which has been vacant, to the Commissioner, within fifteen days of the completion or of the occupation whichever first occurs. Thus compliance with this provision is punishable under Section 471 of the Act irrespective of the fact that the valuation of the premises will be liable to be revised under Section 167 of the Act, from the earliest possible date in the current year in which the completion on occupation is detected by the Assessor and Collector's Department.
5. Your attention if further drawn to the provision of Section 353-A about the necessary of submitting occupation certificate with a view to enable the Municipal Commissioner for Greater Mumbai to inspect your premises and to grant a permission before occupation and to leavy penalty for non-compliance under Section 471 if necessary.
6. Proposed date of commencement of work should be communicated as per requirements of Section 347 (1) (aa) of the Bombay Municipal Corporation Act.
7. One more copy of the block plan should be submitted for the Collector, Mumbai Suburbs District.
8. Necessary permission for Non-agricultural use of the land shall be obtained from the Collector Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the site that may be fixed by the Collector, under the Land Revenue Code and Rules there under.

Attention is drawn to the notes Accompanying this Intimation of Disapproval.

NOTES

- 1) The work should not be started unless objections are complied with
- 2) A certified set of latest approved plans shall be displayed on site at the time of commencement the work and during the progress of the construction work.
- 3) Temporary permission on payment of deposit should be obtained any shed to house and store for construction purpose, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional material shall be demolished before submission of building completion certificate and certificate signed by Architect submitted along with the building completion certificate.
- 4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangement should be provided on site workers, before starting the work.
- 5) Water connection for constructional purpose will not be given until the hoarding is constructed and application made to the Ward Officer with the required deposit for the construction of carriage entrance, over the road side drain.
- 6) The owners shall intimate the Hydraulic Engineer or his representative in Wards atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presume that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- 7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks metal, sand preps debris, etc. should not be deposited over footpaths or public street by the owner/ architect /their contractors, etc without obtaining prior permission from the Ward Officer of the area.
- 8) The work should not be started unless the manner in obviating all the objection is approved by this department.
- 9) No work should be started unless the structural design is approved.
- 10) The work above plinth should not be started before the same is shown to this office Sub-Engineer concerned and acknowledgement obtained from him regarding correctness of the open spaces & dimension.
- 11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation will require time to consider alternative site to avoid the excavation of the road an footpath.
- 12) All the terms and condition of the approved layout /sub-division under No. of should be adhered to and complied with.
- 13) No Building /Drainage Completion Certificate will be accepted non water connection granted (except for the construction purpose) unless road is constructed to the satisfaction of the Municipal Commissioner as per the provision of Section 345 of the Bombay Municipal Corporation Act and as per the terms and conditions for sanction to the layout.
- 14) Recreation ground or amenity open space should be developed before submission of Building Completion Certificate.
- 15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of Municipal Commissioner including asphaltting lighting and

drainage before submission of the Building Completion Certificate.

- 16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.
- 17) The surrounding open spaces around the building should be consolidated in Concrete having broke glass pieces at the rate of 12.5 cubic meters per 10 sq. meters below payment.
- 18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
- 19) No work should be started unless the existing structures proposed to be demolished are demolished.
- 20) The Intimation of Disapproval is given exclusively for the purpose of enabling you to proceed further with the arrangements of obtaining No Objection Certificate from the Housing Commissioner under Section 13 (h) (H) of the Rent Act and in the event of your proceeding with the work either without an intimation about commencing the work under Section 347(1) (aa) or your starting the work without removing the structures proposed to be removed the act shall be taken as a severe breach of the conditions under which this Intimation of Disapproval is issued and the sanctioned will be revoked and the commencement certificate granted under Section 45 of the Maharashtra Regional and Town Planning Act 1966, (12 of the Town Planning Act), will be withdrawn.
- 21) If it is proposed to demolish the existing structures be negotiations with the tenant, under the circumstances, the work as per approved plans should not be taken up in hand unless the City Engineer is satisfied with the following:-
 - i. Specific plans in respect of evicting or rehousing the existing tenants on hour stating their number and the areas in occupation of each.
 - ii. Specifically signed agreement between you and the existing tenants that they are willing to avail or the alternative accommodation in the proposed structure at standard rent.
 - iii. Plans showing the phased programme of constructions has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development control Rules regarding open spaces, light and ventilation of existing structure.
- 22) In case of extension to existing building, blocking of existing windows of rooms deriving light and its from other sides should be done first starting the work.
- 23) In case of additional floor no work should be start or during monsoon which will same arise water leakage and consequent nuisance to the tenants staying on the floor below.
- 24) The bottom of the over head storage work above the finished level of the terrace shall not be less than 1.20 Mt. and not more than 1.80 mt.
- 25) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary is obtained.
- 26) It is to be understood that the foundations must be excavated down to hard soil.
- 27) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- 28) The water arrangement must be carried out in strict accordance with the Municipal requirements.
- 29) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing of the Municipal Commissioner for Greater Mumbai, as required in Section 381-A of the Municipal Corporation Act.
- 30) All gully traps and open channel drains shall be provided with right fitting mosquito proof made of wrought iron plates or hinges. The manholes of all cisterns shall be covered with a properly fitting mosquito proof hinged cast iron cap over in one piece, with locking arrangement provided with a bolt and huge screwed on highly serving the purpose of lock and the warning pipes of the rabbit pretested with screw or dome shape

pieces (like a garden mari rose) with copper pipes with perfections each not exceeding 1.5 mm in diameter. The cistern shall be made easily, safely and permanently accessible by providing a firmly fixed iron ladder, the upper ends of the ladder should be earmarked and extended 40 cms above the top where they are to be fixed as its lower ends in cement concrete blocks.

- 31) No broken bottles should be fixed over boundary walls. This prohibition refers only to broken bottles to not to the use of plane glass for coping over compound wall.
- 32) a Louvres should be provided as required by Bye0law No. 5 (b)
b Lintels or Arches should be provided over Door and Windows opening
c The drains should be laid as require under Section 234-1(a)
d The inspection chamber should be plastered inside and outside.
- 33) If the proposed additional is intended to be carried out on old foundations and structures, you will do so as your own risk.

Executive Engineer, Building Proposals
Zones wards.

CHE/WSII/1096/R/N/337(NEW)

Copy To :- 1. AMEET GANPATRAO PAWAR
GROUND FLOOR, SATYANARAYAN PRASAD COMMERCIAL CENTRE, DAYALDAS ROAD, VILE
ARLE EAST, MUMBAI-400057

2. Asst. Commissioner R/N Ward.
3. A.E.W.W. R/N Ward,
4. Dy.A & C. Western Suburb II
5. Chief Officer, M.B.R. & R. Board R/N Ward .
6. Designated Officer, Asstt. Engg. (B. & F.) R/N Ward ,Mumbai
7. The Collector of Mumbai

Name : BAPURAO RUNJAJI
MORE
Designation : Executive
Engineer
Organization : Municipal
Corporation Of Greater
Mumbai
Date : 15-May-2017 15:
37:17

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

No: **FB/HR/R-IV/389**
Date: **17/10/2016**

Sub: N.O.C. stipulating fire protection & firefighting requirements for the construction of High Rise Residential Building on plot bearing C.T.S. No.51 of Village Mandpeshwar at Laxman Mhatre Marg, Dahisar (West), Mumbai.

Ref: i) Letter dated 30/09/2016 from M/s. Aakar Architects.
ii) **M.F.B.No HR/R-IV/389 dated 05/10/2016**

E.E.B.P. (W.S.)

This is a proposal for the proposed construction of High Rise Residential building comprising of three wings i.e. Wing 'A' 'B' & 'C'. Wing 'A' having lower ground floor & ground floor for duplex fitness centre (accessible directly from 08.50 mtrs. wide Road) + common podium floor part for car parking by way 6.00 mtrs wide two way ramp & part for residential use + 1st to 19th upper residential floors (19th part floor) with a total height of 69.95 mtrs. measured from general ground level up to terrace slab and wing 'B' & 'C' having common basement part for car parking (having access through natural slop, due to level difference) and part for services + Common ground floor part on stilt + common podium floor for car parking by way 6.00 mtrs wide two way ramp + 1st to 19th upper residential floors (19th part floor in both wing 'A' & 'B') with a total height of 69.95 mtrs. measured from general ground level up to terrace floor as per enclosed plans..

Architect has proposed Substation at common ground floor of the wing 'B' & 'C' as shown on the plan.

One podium is created /proposed between the open space of wing 'A' and wing 'B' & 'C' as shown on the plan.

The details of floor-wise use of wing 'A' will be as follows:

Floors	Wing 'A'
Lower Ground Floor	Lower duplex fitness center (with internal staircase of 1.00 mtrs wide) + Electric meter panel + L.T. room + surface car parking + 03 tier puzzle car parking(One level in pit).
Ground Floor (Common with wing 'B' & 'C')	Upper duplex fitness center (with internal staircase of 1.00 mtrs wide) + surface car parking + Space for Electric Substation + 03 tier puzzle car parking (One level in pit).
Common podium floor	Partly for surface car parking by way of 6.00 mtrs. wide 2 way ramp + partly for 02 nos. of residential flats.
1 st to 5 th floor	04 nos. of residential flats on each floor
6 th & 13 th floor	03 nos. of residential flats + refuge area on each floor
7 th to 12 th & 14 th to 18 th floor	04 nos. of residential flat on each floor on each floor
19 th floor (Part)	03 nos. of residential flat + part terrace.
Terrace	Open to sky (treated as refuge area)

[Signature]
10/11/16

[Signature]
15/10/16

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17/10/16

Floor	Wing 'B'	Wing 'C'
Common Basement floor	Electric meter panel + S.T.P.+ space for O.W.C.+ space for D.G. Set + surface car parking + 03 tier puzzle car parking (One level in pit) through natural slopes.	
Ground Floor (Common with wing 'A')	surface car parking + 03 tier puzzle car parking(One level in pit) + space for electrical substation	
Common podium floor	Partly for surface car parking by way of 6.00 mtrs. wide 2 way ramp + partly for 02 nos. of residential flats.	
1 st to 5 th floor	04 nos. of residential flat on each floor.	03 nos. of residential flat on each floor.
6 th & 13 th floor	03 nos. of residential flat+ common refuge area on each floor	03 nos. of residential flat + common refuge area on each floor
7 th to 12 th & 14 th to 17 th floor	04 nos. of residential flat on each floor	04 nos. of residential flat on each floor
18 th floor	04 nos. of residential flat	03 nos. of residential flat
19 th floor (Part)	01 nos. of residential flat + part terrace	01 nos. of residential flat + part terrace
Terrace	Open to sky (treated as refuge area)	

THE DETAILS OF STAIRCASE & LIFT (each wing):

Staircase description	Width of staircase	Nos. of staircase	Type
1 no. of staircase Leading from lower ground floor to terrace floor in wing 'A' and basement to terrace level in wing 'B' & 'C' wing .	01.50 mtrs wide in each wing	01 No.	Enclosed type (Naturally ventilated)
The staircase of building is enclosed type, externally located & adequately ventilated to outside air basement staircase is terminated at ground floor with smoke check lobby at basement level, as shown on plans.			

Lifts Type	Profile	Nos. of lifts
2 nos. of lifts in each wing 'A' 'B' & 'C'	Leading from lower ground floor to top floor in wing 'A' and Leading from basement floor to top floor in wing 'B' & 'C'	02 Nos. (one passenger & one fire lift)
Out of two lifts, one lift in each wing 'A', 'B' & 'C' shall be converted into fire lift as per norms. The lift lobby & common corridor at each floor level is directly ventilated to outside air as shown on the plan.		

The site abuts on the of 18.30 mtrs wide Laxman Mhatre road on West side & 8.50 mtrs. wide D.P.Road on South side.

The side open spaces all around the Wing 'A' are as under:

Sides	Building line to plot boundary	Podium line to plot boundary	Building line to podium line
North	6.00 mtrs to 9.00 mtrs	No podium at this side	-----
South	4.50 mtrs to 7.10 mtrs + 8.50 mtrs wide D.P. Road.	No podium at this side	-----
East	09.00 mtrs. including paved R.G + R.G.	No podium at this side	-----
West	35.90 mtrs (open space between wing 'A' & 'B' at ground floor)	35.90 mtrs (open space between wing 'A' & 'B' at podium floor)	-----

The side open spaces all around the Wing 'B' & 'C' are as under:

Sides	Building line to plot boundary	Podium line to plot boundary	Building line to podium line
North	11.07 mtrs to 12.00 mtrs(including surface car parking) + 0.45 mtrs. wide right of way	No podium at this side	-----
South	10.45 mtrs to 14.34 mtrs + 8.50 mtrs wide D.P. Road.	No podium at this side	-----
East	35.90 mtrs (open space between wing 'B' & 'A' at ground floor)	35.90 mtrs (open space between wing 'B' & 'A' at podium floor)	-----
West	4.50 mtrs to 5.81 mtrs + 18.30 mtrs wide LaxmanMhatre road	No podium at this side	-----

Refuge area for Wing 'A':

Refuge area floor	Refuge area in sq. meters		At height of refuge area from ground level In meters.
	Wing 'A'		
	Required	Proposed	
6 th floor	74.02	74.08	25.15 mtrs.
13 th floor	73.96	74.14	47.55 mtrs.
In addition to that, terrace above 19 th floor (Part) of Wing 'A' will be treated as refuge area.			
Refuge area beyond 4% shall be counted in F.S.I.			

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Common Refuge area for Wing 'B' & 'C':

Common Refuge area	Common refuge area in sq. meters		At height of refuge area from ground level In meters.
	Wing 'B' & 'C'		
	Required	Proposed	
6 th floor	111.07	111.09	25.15mtrs.
13 th floor	101.13	101.19	47.55mtrs.
In addition to that, terrace above 19 th floor (Part) of Wing 'B' & 'C' will be treated as refuge area.			
Refuge area beyond 4% shall be counted in F.S.I.			

The proposal has been considered favorably taking into consideration the following:

- The site abuts on the of 18.30 mtrs wide Laxman Mhatre road on West side & 8.50 mtrs. wide D.P.Road on South side.
- Refuge area are providing at 6th & 13th floor in each wing as mentioned above which are facing the road side & easily accessible for fire appliance in case of emergency.
- Automatic sprinkler system will be provided at car parking area covering each car parking level at basement, lower ground floor, ground floor & common podium floor, Fitness center at both level, in each lift lobby/common corridor at each floor level of each wing & each flat on each floor of the each wing 'A', 'B' & 'C' ,
- Architect has proposed mixed occupancy on common podium floor in wing 'A' i.e. residential use and car parking, same is considered subject to approval from Hon. M.C.
- The Architect during course of discussion agreed to provide recommended active & passive fire protection requirements & also assured to provide any additional fire requirements in future from Mumbai Fire Brigade Officer.

In view of above, as far as this department is concerned, there would be no objection for the proposal for the proposed construction of High Rise Residential building comprising of three wings i.e. Wing 'A' 'B' & 'C'. Wing 'A' having lower ground floor & ground floor for duplex fitness centre (accessible directly from 08.50 mtrs. wide Road) + common podium floor part for car parking by way 6.00 mtrs wide two way ramp & part for residential use + 1st to 19th upper residential floors(19th part floor) with a total height of 69.95 mtrs. measured from general ground level up to terrace slab and wing 'B' & 'C' having common basement part for car parking(having access through natural slop, due to level difference) and part for services + Common ground floor part on stilt + common podium floor for car parking by way 6.00 mtrs wide two way ramp + 1st to 19th upper residential floors (19th part floor in both wing 'A' & 'B') with a total height of 69.95 mtrs. measured from general ground level up to terrace floor as per enclosed plans..as per enclosed plans.signed in token of approval, subject to satisfactory compliance of the following requirements.

1. ACCESS : (For each wing)

- i) All access & fire tender access should be free of encumbrances.
- ii) Courtyard s shall be flushed with the road levels.
- iii) Entrance gate if provided shall be of not less than 6.00 meters width each shall be provided, at locations marked on the plan. Archways, if any over the entrance gates, shall have height clearance of not less than 4.50 mtrs.

2. PROTECTION TO STRUCTURAL STEEL: (For each wing)

- i) All the structural steel members i.e. columns, beams etc., shall be protected with the 02 hours fire resisting materials and methods as stipulated under IS 1942-1960 as application for residential building.
- ii) A certificate to that effect that the fire resistance protection has been provided as above shall be furnished from the Structural Engineer as the time of application for occupying the building.

3. COURTYARDS/OPEN SPACES: (For each wing)

- a. The entire open spaces shall be sufficiently hardened to bear the weight of fire engine weighing up to 48 M.T. each with a point load of 10 kgs/sq. cm.
- b. All the courtyards shall be in one plane and it shall be clear of any obstructions including tree .
- c. Courtyards around the building shall be maintained free from encumbrances / encroachments.

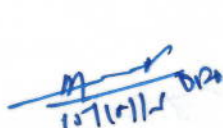
4. STAIRCASE: (For each wing)

- i) The flight width of staircases shall be maintained as shown in the enclosed plans.
- ii) The layout of main staircase shall be enclosed type as shown in the plan throughout its height and shall be approached (gained) at each floor level at least two hours fire resistant self closing door (45 mm. thickness) placed in the enclosed wall of the staircase.
- iii) Externally located staircases adequately ventilated to outside air.
- iv) Openable sashes or R.C.C. grills with clear opening of not less than 0.5 sq. mtrs. per landing on the external wall of the staircase shall be provided.
- v) No combustible material shall be kept or stored in staircase / passage.
- vi) Internal staircase shall be constructed with non-combustible material and non-flammable material.

5. STAIRCASE TERRACE DOOR : (For each wing)

The terrace door shall be provided in the following manner.

- A. The top of portion of the doors shall be provided with louvers.
- B. The single latch lock shall be installed from the terrace side at the height of not more than one mtr.
- C. The glass front of 6 inch diameter with the breakable glass shall be provided just above the single latch lock, so as to open the latch in case of an emergency by breaking glass.


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6. **CORRIDOR / LIFT LOBBY : (For each wing)**
 - i) Corridor / lift lobby at each floor level shall be naturally ventilated as shown in plan.
 - ii) The common corridor / lift lobby at each floor level shall be kept free from obstructions at all times.
 - iii) Self glowing/fluorescent exit signs in green color shall be provided showing the means of escape for entire building.
 - iv) Portable lights / insta lights shall be provided at strategic locations in the staircase and lift lobby.
7. **STAIRCASE AND CORRIDOR LIGHTINGS: (For each wing)**
 - i) The staircase and corridor lighting shall be on separate circuits and shall be independently connected so that they could be operated by one switch installation on the ground floor easily accessible to fire fighting staff at any time irrespective of the position of the individual control of the light points, if any.
 - ii) Staircase and corridor lighting shall also be connected to alternate supply.
 - IV) Emergency lights shall be provided in the staircases/corridors.
8. **BASEMENT: for wing 'B' & 'C'**
 - i) The basement slab forming part of the courtyard shall be designed suitably to bear the load of the fire engine weighting up to the 48 m. tones with point load of 10 kg. / sq.cms.
 - ii) The staircase has been proposed for ingress & egress to the basement from ground floor. The staircase shall be totally enclosed type complying with the provisions of N.B.C. & as per D. C. Regulations.
 - iii) The basement shall be used for designated purposed only.
 - iv) The staircases shall be provided with self-closing fire resisting doors of at least 02 hours resistance.
 - v) Entry from the basement areas through the staircases shall be granted through 02 hours fire resistance doors of self-closing type placed in the enclosed walls of the staircases.
 - vi) Natural ventilation to the basement shall be provided through the duct or ventilation shafts etc., as shown on the plans.
 - vii) The basement shall be properly lighted. The escape route shall be lighted to have a minimum luminance of 2.5 lux.
 - viii) Suitable signage's shall be provided in the basement showing 'Exit Direction', 'Way To Exits' etc.
 - ix) Smoke check lobby, Staircase, common passage & escape route of the entire building shall be painted with fire retardant paint.
 - x) A.B.C. Type B.I.S. marked Portable Fire Extinguishers having capacity of 09 kgs. each, as per BIS:2190 of 1992 & sand buckets filled with cleaned sand shall be kept at prominent place in basement premises.
 - xi) Automatic sprinkler system shall be provided in car parking area covering each car parking level as per as per BIS:2190 of 1992of NBC.

9. PODIUM FLOORS:

- a. The Podium level is provided with 06.00 mtrs. wide two way ramp for entry and exists of cars. Which will have entry at the ground level.
- b. Podium floors shall be used for horizontal car parking by way of 06.0 mtrs. wide two way ramp as per shown on the plans.
- c. All the sides shall be provided with kept open except parapet walls of not more than 1.2 meters height.
- d. The driveways shall be properly marked and maintained unobstructed, proper illuminated signage shall be provided for escape route car lifts etc. at prominent location.

10. THREE TIER PIT / PUZZLE CAR PARKING: (For each wing)

- a. All the structural steel members of the parking block i.e. columns, beams, external cladding with coated steel sheets etc. shall be protected with the fire resisting / retardant materials and methods as stipulated under relevant I.S. specification. A certificate to that effect that the fire resistance protection has been provided as above shall be furnished from the Chartered Structural Engineer.
- b. Drainage of the car parking area shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trap before connecting the building drainage or Municipal drainage.
- c. Dwelling, use of naked light / flame, repairing / maintenance of vehicles shall be strictly prohibited in the parking area.
- d. Structural design shall be constructed of steel construction.
- e. Vertical deck separation having multi car parking level, vertical separation between the upper & lower decks by using the non-perforated & non-combustible materials (structural steel plate) shall be provided. This is to minimize direct impingement of flame to the car in the upper deck & also to prevent dripping of any possible leaking fuel to the lower deck.
- f. The cars shall be separated by perfect partition of 4.5 mm thick steel pallets between two cars, to prevent spread of fire from one level to next level.
- g. The electrical cables used internally shall be fire retardant, & heat resistant of 105 degree centigrade.
- h. Automatic sprinkler system conforming to the standards lay down by T.A.C. & relevant I.S. specification shall be provided with sprinkler head covering at each parking level.
- i. The car's engine shall be shut off at ground level before parking at higher level.
- j. Only trained operator certified by company installing car tower shall operate automatic car parking system.

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11. ELECTRIC SUBSTATION: Only Dry Type

- a. Only dry type substation/transformers shall be installed as per plan on stilt area.
- b. Entire installation of substation including switchgear room, capacitors, transformer etc. shall be confirmed to the Indian Electric Act/Rules in practice.
- c. Cables in the cable trenches shall be coated with fire retardant material.
- d. Automatic built-in circuit breakers shall be provided in the substation/transformer.
- e. The door of the sub-station shall be of two hours fire resistance.
- f. The capacity of the substation shall be as per service provider's requirements.
- g. Adequate ventilation of switch room is essential to prevent condensation of moistures.
- h. The substation/transformer area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
- i. The proposed substation shall be completely segregated either by brick masonry wall each of 9" thickness or R.C.C of 4" thickness from the rest of the premises as shown in the enclosed plans.
- j. The danger signage on the substation fencing along with the electric voltage load.
- k. Two dry chemical power type (ABC stored pressure type) fire extinguishers of 10 kgs. capacity each with BSI certification mark coupled with four buckets filled with dry clean sand shall be kept on the sub-station.

12. FLAT ENTRANCE, KITCHEN DOORS & EXIT / ENTRANCE STAIRCASE: (For each wing)

- i) Flat entrance and kitchen doors (if provided) shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness.)
- ii) The fire resistance rating for staircase F.R.D., Lift lobby / protected lobby & the lift doors as per N.B.C. provisions.

13. ELECTRIC CABLE SHAFT, SERVICES & METER PANEL: (For each wing)

- i) Electric cable shaft shall be exclusively used for electric cables and should not open in staircase enclosure.
- ii) Inspection doors for shaft shall have two hours fire resistance.
- iii) Electric shaft shall be sealed at each floor level with non combustible materials such as vermiculite concrete. No storage of any kind shall be done in electric shaft.
- iv) Electric wiring/ cable shall be non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
- v) Electric panel room shall be provided at location marked on the plan. It shall be adequately ventilated & easily accessible.
- vi) Low and medium voltage wiring running in conduit and in false ceiling should run in separate conduits;

- vii) Water mains, telephone lines, intercom lines, gas pipes or any other service line should not be laid in the shaft for electrical cables; use of bus bar/solid rising mains instead of cables is preferred.
- viii) Master switches controlling essential service circuits shall be clearly labeled.
- ix) Automatic Smoke detection system incorporate with response indicator shall be installed in electric duct on each floor.
- 14. FALSE CEILING (if provided): (For each wing)**
False ceiling if provided in the building shall be of non combustible material. Similarly, the suspenders of the false ceiling shall be of no combustible materials.
- 15. MATERIALS FOR INTERIOR DECORATION/FURNISHING:(For each wing)**
The use of materials which are combustible in nature and may spread toxic fume/gases should not be used for interior decoration/furnishing, etc.
- 16. LIFTS (For each wing)**
- A. PASSENGER LIFT :**
- i) Walls enclosing lift shaft shall have a fire resistance of not less than two hour.
- ii) Shafts shall have permanent vent of not less than 0.2 sq. mtrs in clear area immediately under the machine room.
- iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv) One of the lift shall be converted into fire lift and shall be as per specifications laid down under the regulations, a toggle switch shall be provided to this lift for the use of Firemen.
- B. FIRE LIFT:**
- i) Walls enclosing lift shafts shall have two hours fire resistance.
- ii) The shafts shall have permanent vent equal 0.2 sq.mtr. clear area under the Lift Machine room.
- iii) Landing doors and lift car doors shall be of steel shuttered type with one hour fire resistance. No collapsible shutters shall be provided.
- iv) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency and the directly accessible to every dwelling of each floor.
- v) The lift shall have a floor area of not less than 1.4 sq. mtrs. with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545 k.g. (8 persons lift) with automatic closing doors.
- vi) There shall be an alternate electric supply of an adequate capacity apart from the normal electric supply the building and the cables run in a route safe from fire, i.e. within the lift shaft. In case of failure normal electric supply, it shall automatically trip over to alternate supply.

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- vii) The operation of fire lift should be by a simple toggle or two button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
- viii) The words 'Fire lift' shall be conspicuously displayed in florescent paint on the lift landing door at each floor level & Threshold of non-combustible material shall be provided at the entrance of each landing door.

18. FIRE FIGHTING REQUIREMENTS

a) Under Ground Water Storage Tank : (common for all wing)

An underground water storage tank of 3,00,000 liters capacity shall be provided, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The layout of which shall be got approved from H.E.'s department prior to erection. The tank shall be connected to sprinkler system.

b) Overhead Water Storage Tank (separate for each wing 'A' 'B' & 'C'):

A tank of 30,000 liters capacity shall be provided on each staircase shaft at the terrace level, the layout of which shall be got approved from H. E.'s departments prior to erection. The tank shall be connected to wet risers through a booster pump through a non-return valve gate valve.

c) WET- RISER CUM DOWN COMER :-(for each wing 'A' 'B' & 'C'):

Wet riser cum down comer of internal dia. of 15 cms. of G.I. 'C' Class pipe shall be provided as shown on the plan with a twin hydrant outlet & hose reel at each floor in such a way as not to reduce the width of the common corridor. Pressure reducing discs or orifices shall be provided at lower level, so as not to exceed the pressure of 5.5 kgs. per sq. cms. A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provided to connect the mobile pump of the fire service to the wet riser-cum-down comer and sprinkler system.

d) Fire Service Inlet :

- i) A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provide to connect the mobile pump of the fire service to (a) The wet riser (b) Sprinkler system .
- ii) Breeching connection inlet shall be provided to refill U.G. tank.
- iii) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.

e) Automatic Sprinkler System:(for each wing 'A' 'B' & 'C'):

The Automatic sprinkler system shall be provided in lift lobby/common corridor at each floor level in each wing and car parking area covering each car parking level at basement, Lower ground floor, stilt & fitness center at both

level as well as in each flat at each floor level in each wing i.e wing 'A', 'B' & 'C' as per the standards laid down by T.A.C. or relevant I.S. specifications.

- f) **Automatic Smoke Detection System:(for each wing 'A' 'B' & 'C'):**
Automatic smoke detection system shall be provided in each electric meter room/panel, electric shaft, each lift machine room & fitness center as per IS specification.
- g) **BOOSTER PUMP(Separate for each wing) FIRE PUMP,SPRINKLER PUMP AND JOCKEY PUMP (Common for all wing):**
Wet-riser shall be connected to a fire pump at ground level of capacity of not less than 2400 liters/min. capable of giving a pressure of not less than 3.2 kgs/ sq. cms. at the top most hydrant.
- i) Booster pump of 900 liters/min. capacity giving a pressure of not less than 3.2 kgs./ sq. cms. at the top most hydrant out let of the wet-riser shall be provided at the terrace level.
 - ii) Sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
 - iii) Electric supply (normal) to these pumps shall be independent circuit.
 - iv) Operating switches for booster pumps shall be also provided in glass fronted boxes in terrace floor as well as ground floor at prominent place.
 - v) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.
 - vi) All above pumps should be surface mounted or vertical turbine type (submersible pump not permitted) pump along with adequate size of pump room.
- h) **External Hydrants:**
Courtyard hydrants shall be provided at distance of every 30.00 mtrs all around the building each within the confines of the site of the wet riser-cum-down comer. Hose box with two non-percolating BIS marked hoses (length not less than 15 mtrs) & branch shall be equally distributed on ground floor near the hydrant outlet.
- i) **Alternate source of power supply:**
An alternate source of L. V./H. V. supply from a separate sub-station or D.G. Set with appropriate change over switch shall be provided for fire pump, fire lift, staircase, corridor lighting circuits, sprinkler pump, jockey pump and fire alarm system, detector systems, etc. It shall be housed in a separate cabin.
- j) **Portable fire extinguishers : (for each wing 'A' 'B' & 'C'):**
- a. One dry chemical powder type fire extinguisher of 09 kgs. capacity having I.S. certification mark and two bucket filled with dry clean sand shall be kept in each electric meter room and in each lift machine room and at car parking area at every 100.00 sq. mtrs. area.
 - b. One dry chemical powder type fire extinguisher of 09 kgs. capacity having B.I.S. certification mark shall be kept on each floor level at prominent place &

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- refuge area .
- c. All above fire extinguishers should be placed on each floor level as per IS:2190 of 1992.
19. **FIRE ALARM SYSTEM : (for each wing):**
The building shall be provided with manual fire alarm system with main control panel at main Security Cabin on ground floor level and pill-boxes and hooters at each upper floor level. The layout of fire alarm system shall be in accordance with I.S. specification.
20. **PUBLIC ADDRESS SYSTEM (for each wing):**
The building shall be provided with public address system as per the rules with main control operator at console panel at security cabin on ground floor area
21. **SIGNAGES: (for each wing):**
Self-glowing/fluorescent exit signs in green color shall be provided showing the means of escape for the entire building.
22. **TRAINED FIRE STAFF/SECURITY GUARDS: (common for all wings)**
The trained fire staff / security guards having basic knowledge of firefighting & fix firefighting installation shall be deputed in the building. They will be responsible for the following;
- Maintenance of all the first aid firefighting equipment, fixed installations & other firefighting equipment / appliance in good working condition at all times.
 - Imparting training to the occupants of the building in the use of firefighting equipment provided on the premises & kept them informed about the fire & other emergency evacuation procedures.
23. **FIRE DRILLS / EVACUATION DRILLS:**
Fire Drills and evacuation drills shall be conducted regularly in accordance with fire safety plan of building at least once in a six month in consultation with Mumbai Fire Brigade and log of the same shall be maintained.
24. **REFUGE AREA: (for each wing):**
Refuge area provided on 06th & 13th floor level of 'A' wing & common refuge area for wing 'B' & 'C' on 06th & 13th floor level shall be conforming to the following requirements:
- Manner of refuge area:**
 - The refuge area shall be so located that it shall preferably face the access road /wider open space of the building.
 - The refuge area shall be provided with railing / parapet of 1.20 mt.
 - The refuge area shall have a door which 'shall be painted or fixed with a sign in luminous paint mentioning "REFUGE AREA"
 - The lift/s shall not be permitted to open into the refuge areas.

- e) The refuge area provided within building line shall be accessible from common passage/ staircase.

ii) **Use of refuge area:**

- a. The refuge area shall be earmarked exclusively for the use of occupants as temporary shelter and for the use of Fire Brigade Department or any other organization dealing with fire or other emergencies when occur in the building and also for exercises/drills if conducted by the Fire Brigade Department.
- b. The refuge areas shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner/occupier to maintain the same clean and free of encumbrances and encroachments at all times.

iii) **Facilities to be provided at refuge area**

Adequate emergency lighting facility shall be provided.

iv) **Terrace floor as a refuge floor:**

- a. The necessary facilities such as emergency lighting, drinking water etc. shall be provided.
- b. The access door/s from the enclosed staircase/s to the terrace floor shall have louvers at top half portion of the door. The entrance doors to the terrace shall be painted or fixed with sign painted in luminous paint mentioning "REFUGE AREA".
- c. Excess refuge area shall be counted in FSI.

The Party has paid Scrutiny fees of Rs. 8,71,650/-, vide Sap Receipt No. 0598479 Sap Doc. No. 1002710505 dated 13/10/2016, on the gross built up area of 22,350.00 sq.mtrs., as certified by the Architect vide his letter dated 30/09/2016.

However, E.E.B.P. (E.S.) is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional Scrutiny fees, if required.

The width of the abutting road / Access road, Open spaces mentioned in this N.O.C. are as per plans submitted by the Architect, attached herewith. These parameters shall be verified by E.E.B.P. before granting any permission (I.O.D./C.C./further C.C.). If found any contradiction, the proposal shall be referred back to this Department.

This N.O.C. is issued for the proposed building from Fire Risk / Fire Safety point of view only. The plans approved along with this N.O.C. are approved from Fire Risk / Fire Safety point of view only. Approval of this plan does not mean in any way of allowing construction of the building. It is the Architect / Developer's responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction of the building.

Note:

- i) The firefighting installation shall be carried out by licensed approved agency.
- ii) The area calculation shown in the enclosed plan shall be checked by the E.E.B.P.(W.S.)
- iii) E.E.B.P. (W.S.) shall verify the proposal in context with Hon. M.C.'s circulars issued u/n. Ch.E./32545/DP-Gen dated 24/02/2015 & u/no. Ch.E/34194/DP/Gen dated 10/03/2015 and verify the compliance as per the above said circulars. If the same is not complied with, this proposal shall be referred back to this department for issuing fresh NOC.
- iv) E.E.B.P.(W.S.) requested to scrutinized the plans as per amended DCR & verify civil work and all other requirements pertaining to civil Engineering side about Road, open spaces, podiums, corridors, staircases, ventilation, height, refuge area & floor occupancy of the building. If any changes in the plans other than mentioned above then E.E.B.P.(W.S.) shall refer back the proposal to this department for revised NOC till then further process shall not be permitted.
- v) Hon. M.C's approval is requested for open space deficiency, if any.
- vi) There shall not be any trees, obstructing fire appliances reach in compulsory open spaces, required as per amended DCR.
- vii) This N.O.C. is issued from fire risk point of view only without prejudice to legal matters pending in court of law if any.

C.C. to: M/s. Aakar Architects,
Mumbai.

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**Chief Fire Officer,
Mumbai Fire Brigade.**

**Chief Fire Officer,
Mumbai Fire Brigade.**



Maharashtra Pollution Control Board

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MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 24010437/24020781
/24037124/24035273
Fax : 24044532/24024068
/24023516
Email : jdwater@mpcb.gov.in
Visit At : <http://mpcb.gov.in>



Kalpatur Point, 3rd & 4th floor,
Sion- Matunga Scheme Road No. 8,
Opp. Cine Planet Cinema,
Near Sion Circle, Sion (E),
Mumbai - 400022

Infrastructure /Red/LSI

Consent No: Format1.0/BO/JD (WPC)/UAN No. 84004/ CE/CC- 2003000250 Date 04/03/2020

To,
M/s. Kolte-Patil Developers Ltd.
"Sagar Vaibhav Co-op Housing Society Ltd."
Plot bearing CTS no. 51 of Village Mandapeshwar,
Laxman Mhatre Road, Dahisar (West), Mumbai.

Subject: Consent to Establish in Red Category for residential construction project

Ref : 1. Minutes of 12th Consent Committee meeting held on 06.02.2020 &
14.02.2020.
2. Your application UAN No.00000084004 Dated: 02.12.2019.

For: Consent to Establish in Red Category for residential construction project.

under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 5 of the Hazardous and Other Wastes (M & T M) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. The consent is granted for a period up to commissioning of the project or five years, whichever is earlier.
2. The proposed capital investment of the project is Rs. 176.0 Crs. (As per undertaking submitted by project proponent).

Consent to Establish is valid for proposed residential construction project named as M/s. Kolte-Patil Developers Ltd. "Sagar Vaibhav Co-op Housing Society Ltd." Plot bearing CTS no. 51 of Village Mandapeshwar, Laxman Mhatre Road, Dahisar (West), Mumbai on Total plot area of 4994.70 Sq. Mtrs and Total construction BUA of 28571.0 Sq. Mtr including utilities and services as per construction commencement certificate issued by local body.

3. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. No.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1	Trade effluent	NIL	NA	NA
2	Domestic effluent	138	As per Schedule -I	60% should be reused & recycled and remaining should be discharged in municipal sewer

4. Conditions under Air (P & CP) Act, 1981 for air emissions:

Sr. No.	Description of stack/ source	Capacity	Number Of Stack	Standards to be achieved
1	DG Set	625 KVA	01	As per Schedule-II



Maharashtra Pollution Control Board

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5. Conditions under Solid Waste Management Rules, 2016:

Sr. no.	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Wet garbage	211 Kg/Day	OWC	Used as Manure
2	Dry garbage	317 Kg/Day	—	Segregate and Hand over to Local Body for recycling
3	STP Sludge	21 Kg/Day	—	Used as Manure

6. Conditions under Hazardous and Other Wastes (M & TM) Rules, 2016 for treatment and disposal of hazardous waste; NIL.
7. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same should be binding on the industry.
8. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
9. Project Proponent shall comply the Construction and Demolition Waste Management Rules, 2016 which is notified by Ministry of Environment, Forest and Climate Change dtd.29/03/2016.
10. Project Proponent shall submit an affidavit in Board's prescribed format within 15 days regarding the compliance of conditions of EC/CRZ clearance and C to E.
11. Project Proponent shall install online monitoring systems for pH, TSS and flow at the outlet of STP.
12. Project Proponent shall provide Organic waste digester with composting facility or Biogas digester with composting facility.
13. The applicant shall obtain revised Environmental clearance for the proposed construction project. PP shall not exceed the construction BUA more than 22346.42 sq. mtr as per EC obtained vide no F.No.21-31/2016-IA-III dtd 02.06.2017 prior to obtain revised Environmental Clearance.

For and on behalf of the
Maharashtra Pollution Control Board

(E. Ravendiran, IAS)
Member Secretary

Received Consent fee of -

Sr. No.	Amount (Rs.)	Transaction No.	Date
1	352000.00	RTGS 5457731	10.12.2019

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai-IV.
— They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Mumbai.
3. CC/CAC desk- for record & website updating purposes.



Maharashtra Pollution Control Board

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Schedule-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A) As per your application, you have proposed to install Sewage Treatment Plant (STP) with the design capacity of 152 CMD based on MBBR Technology.
- B) The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board Limiting Concentration
1	pH	6.5 to 9.0
2	BOD (3 days 27oC)	10 mg/l
3	Suspended Solids	20 mg/l
4	COD	50 mg/l
5	Total Nitrogen	10 mg/l
6	Ammonical Nitrogen	5 mg/l
7	Fecal Coliform	100 MPN/100ml

C) The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, firefighting, on land for gardening etc and remaining shall be discharged in to the municipal sewerage system.

D) Project proponent shall operate STP for five years from the date of obtaining occupation certificate.

The Board reserves its rights to review plans, Specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant should obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto

- 2) The industry should ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 3) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, by installing water meters and other provisions as contained in the said act.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
1	Domestic purpose	159

- 4) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.



Maharashtra Pollution Control Board

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Schedule-II

Terms & conditions for compliance of Air Pollution Control:

1. As per your application, you have proposed to install the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.*	Type Of Fuel	Quantity	UOM	S%	SO ₂ Kg/day
1	DG Set-625 KVA	Acoustic enclosure	5	HSD	103	Lit/Hr	2.0	2.06

*Above the roof of the building

2. The applicant should operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³
--------------------	---------------	------------------------

3. The Applicant should obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.

The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).



Maharashtra Pollution Control Board
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Schedule-III
Details of Bank Guarantees

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish	Rs. 10 Lakhs	15 Days	Towards Compliance of Environmental Clearance & Consent conditions.	Up to Commissioning of the project	COU or Five years

Maharashtra Pollution Control Board



Schedule-IV

General Conditions:

The following general conditions shall apply as per the type of the industry.

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and environmental protection Act 1986 and Solid Waste Management Rules, 2016 and E-Waste (Management) Rules, 2016.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned between 6 a.m. to 10 p.m and night time is reckoned between 10 p.m to 6 a.m.
 - d) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - e) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - f) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - g) D.G. Set shall be operated only in case of power failure.
 - h) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - i) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rules, 2016 & E-Waste (M) Rules, 2016.
- 7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8) The treated sewage shall be disinfected using suitable disinfection method.
- 9) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 10) **The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.**



TCN/161035/2016-2017/1237

October 12, 2016

To,
The Executive Engineer
Building Proposal
Municipal Corporation of Greater Mumbai
Mumbai

Subject: Proposed residential building on plot bearing CTS No. 51 of Village Mandapeshwar at Laxman Mhatre Marg, Dahisar (West), Mumbai, for Kolte Patil Developers Ltd.

Sir,

This is to certify that the foundations of the following buildings are designed for

- Wing-"B&C" : Basement Level plus Ground level plus Podium level plus nineteen upper floors.
- Wing-"A": Lower Ground level plus Ground level plus Podium level plus nineteen upper floors.

I further certify that my Structural Design is based on the provisions of IS – 1893 – 2002 – Criteria for Earthquake Resistant Design of Structure.

Thanking You,

Yours Faithfully,

ACHYUT WATVE
B. E., F. I. E.
Structural Engineer
M C G B Reg. No STR/W/10
For & On behalf of
JW Consultants LLP

JW CONSULTANTS LLP
Formerly Y S Sane Associates

REGISTERED OFFICE : Sai Radhe, Office No. 201, 2nd floor, Behind Hotel Le Meridien, 100-101, Kennedy Road, Pune 411001.
P : 91-2066449100

MUMBAI OFFICE : Ruparel Iris, 2nd floor, Near Magnet Mall, Tulsi Pipe Rd., Matunga West, Mumbai - 400016. | P : +91-(0)22-2439 7400 / 2431 3943
www.jwconsultants.in

Converted into a Limited Liability Partnership (LLP Identity No AAA-2650) w.e.f 28.10.2010 from JW Consultants (previously Y S Sane Associates) Registration No. MPA9324

MUNICIPAL CORPORATION OF GREATER MUMBAI

No. E.E. Mech / (M.S.) / 4231 / W.S. Dated 11 OCT 2016

Office of the:
Executive Engineer Mechanical,
(Main Sewer) Western Suburbs,
Relief Road Jn. J.P. Road
Opposite Indian Oil Nagar,
Andheri (W), Mumbai - 400 053.
Tel : 022-26368654.

Sub: Sewerage Remark for proposed building on plot bearing C.T.S. No. 51 of Village Mandpeswar at Laxman Mhatre Marg, Dahisar west, Mumbai.

Ref: 1) A letter of M/s Swati Consultancy Dated - 06/10/2016.

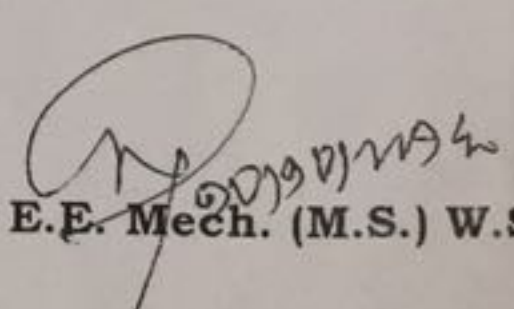
With reference to above cited subject matter, following remark are offered from this office.

- 1) The actual depth of nearest connecting manhole marked as 'A' on Babudev Ranade Road is 2.90 mtrs (approx) as shown in the sketch.
- 2) The actual depth of nearest connecting manhole marked as 'B' is 5.40 mtrs (approx) & marked as 'C' is 5.65 mtrs (approx) on Laxman Mhatre Road as shown in the sketch.
- 3) There exists 230 mm dia connecting sewer line and 150 mm dia existing street Connection is connected in the under reference manhole. **A**
- 4) The depth of existing sewer trap chamber is 1.80 mtrs (approx).
- 5) The direction of flow leading towards Vallabh Nagar pumping station.
- 6) The existing sewer line and street connection are functioning smoothly at present.
- 7) The existing sewer line is in M.C.G.M. possession and maintained by M.C.G.M.
- 8) The additional load calculation may carried out at your end only.

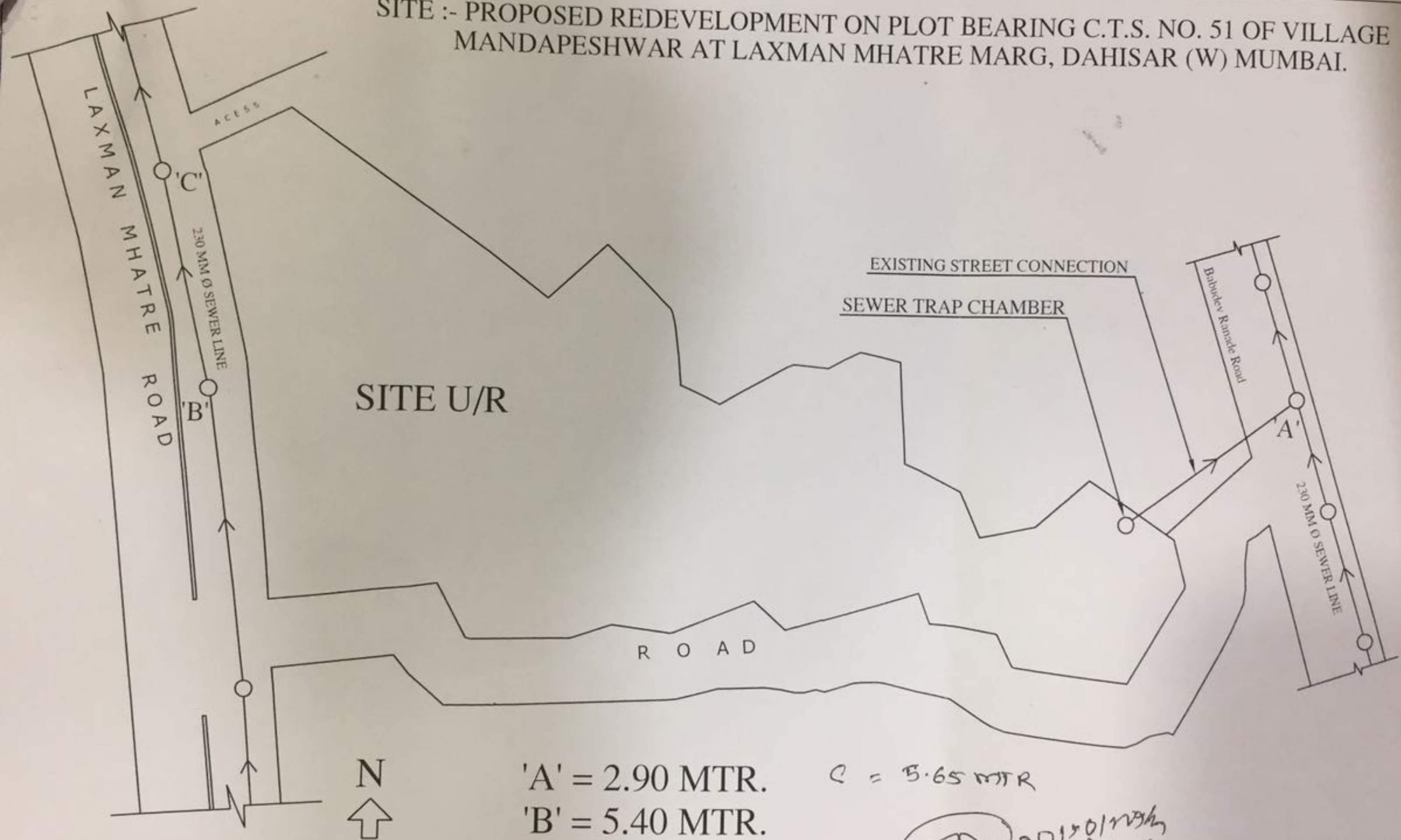
Forwarded for doing the further needful please.

Encl :- 1) Sketch.

E.E.(S.P.) P& D W.S.


E.E. Mech. (M.S.) W.S.

SITE :- PROPOSED REDEVELOPMENT ON PLOT BEARING C.T.S. NO. 51 OF VILLAGE
MANDAPESHWAR AT LAXMAN MHATRE MARG, DAHISAR (W) MUMBAI.



CHANGE OF NAME

NOTE

Collect the full copy of Newspaper for the submission in passport office.

I HAVE CHANGED MY NAME FROM MEENA DINESH KARELIA TO MEENA DINESH KARELIYA AS PER AFFIDAVIT DATED: 19/06/2017. CL-60613	I HAVE CHANGED MY NAME FROM RAMKUMAR HASSANAND ALIAS RAMCHAND KHANWANI AS PER HASSANAND KHANWANI AS PER AFFIDAVIT DATED: 19/06/2017. CL-60617	WE PRAMOD GAJANAN PAWASKAR & MUGDHA PRAMOD PAWASKAR HAVE CHANGED MY MINORS SON NAME FROM ADITYA PRAMOD PAWASKAR TO AVADHOOT PRAMOD PAWASKAR AS PER AFFIDAVIT NO: SE 170092 DATED: 21/06/2017. CL-60618	I HAVE CHANGED MY NAME FROM NEHAL JAGDISH BHATT TO NEHA SAGAR PATEL AS PER GOVT. OF MAHA. GAZETTE NO: (M-176038). CL-260	I HAVE CHANGED MY NAME FROM MOHAMMAD ARAF SHAIKH YACOUB TO MOHAMMAD ARAF YAKUB BULE AS PER COURT AFFIDAVIT NO: SA 004952 DATED: 20TH JUNE 2017. CL-295	I HAVE CHANGED MY NAME FROM RITA NEVAND RUHANI (OLD NAME) TO MRS. SARIKA RAJESH SEWANI (NEW NAME) AS PER AFFIDAVIT NO. SF 131637 CL-325	I HAVE CHANGED MY NAME FROM KASIF RAEES AHMED SIDDIQUE TO KASHIF RAIS AHMED SIDDIQUE AS PER AFFIDAVIT DATED: 18/06/2017. CL-435	I HAVE CHANGED MY NAME FROM PRAVIN LAJALUL GANDHI AS PER AFFIDAVIT (RE 128577) CL-438	I HAVE CHANGED MY NAME FROM AMITKUMAR PRABHUDAS VAYA TO AMIT PRABHUDAS VAYA AS PER DECLARATION CL-467	I HAVE CHANGED MY NAME FROM KHATRI YOGESH UTTAMBHAI TO YOGESH UTTAMUL KHATHI AS PER DECLARATION CL-467 A	I HAVE CHANGED MY NAME FROM TARABEN NAVIN GADA TO TARA NAVIN GADK AS PER DECLARATION CL-467 B	I HAVE CHANGED MY NAME FROM ZAHIDA BANO TO JAHIDA JABIRALI BEHLIM AS PER DECLARATION CL-467 C	I HAVE CHANGED MY NAME FROM MOHAMMED JABIR TO JABIRALI SIRAJUDDIN BEHLIM AS PER DECLARATION CL-467 D	I HAVE CHANGED MY NAME FROM MOHAMED ISMAIL SUBERATHI TO MOHAMMED ISMAIL SUBERATHI SHAIKH AS PER DECLARATION CL-467 E	I HAVE CHANGED MY NAME FROM DHANISAS TO ANTHONY STANISLAUS NADAR AS PER DECLARATION CL-467 F	I HAVE CHANGED MY NAME FROM SHAIKH YUSUF SHAIKH GULAM MOHAMMED MOOSA TO YUSUF GULAM MUSTAFA SHAIKH AS PER DECLARATION CL-467 G	I HAVE CHANGED MY NAME FROM SEEMA SHARAD PURANIK (OLD NAME) TO DHRI VISHWAS JOSHI (NEW NAME) AS PER DECLARATION NO SF 511192 DATED 1 JUNE 2017 CL-539	I HAVE CHANGED MY NAME FROM MR. PRAKASH CHAPLOT AND MRS. NIRMALA CHAPLOT HAVE CHANGED OUR MINOR DAUGHTER'S NAME FROM KHUSHI PRAKASH JAIN TO KHUSHI PRAKASH CHAPLOT AS PER AFFIDAVIT CL-351 J	I HAVE CHANGED MY NAME FROM KESHAV PIRDHANANI TO KESHAWAL VISHANDAS PIRDHANANI AS PER AFFIDAVIT CL-351 L	I HAVE CHANGED MY NAME FROM RAJALAKSHMI DAMANI TO RUPAL ANAND KANTAWALA AS PER AFFIDAVIT CL-351 M	I HAVE CHANGED MY NAME FROM SAYRAM SAYRNA DASUR TO SAIRAM SAYANNA DASUR AS PER AFFIDAVIT CL-351 K	I HAVE CHANGED MY NAME FROM HASBUL RAHMAN SK TO HASIBUL REHMAN SHAIKH AS PER AFFIDAVIT CL-351 N	I HAVE CHANGED MY NAME FROM JAMALUDDIN SK TO JAMALUDDIN SHAIKH AS PER AFFIDAVIT CL-351 M	I HAVE CHANGED MY NAME FROM SHAHK MOHAMMED SHAFIQE TO SHAHKI MOHAMMED SHAFIQE AS PER AFFIDAVIT CL-351 N	I HAVE CHANGED MY NAME FROM SABIRA MUSHTAQ SHAIKH TO SABAERA MUSHTAQ SHAIKH AS PER AFFIDAVIT CL-351 O	I HAVE CHANGED MY NAME FROM SHALINI JAGDISH BAJAJ / SHALINI KRISHNAN IYER TO SHALINI BAJAJ SURVE AS PER AFFIDAVIT CL-351 P	I HAVE CHANGED MY NAME FROM MEENAKSI RAMAN MADHAVI TO MEENAKSI RAMAN MADHAVI AS PER AFFIDAVIT CL-351 Q	I HAVE CHANGED MY NAME FROM ARAFAAT MOHD KALIM QURESHI TO ARAFAAT MOHD KALIM QURESHI AS PER AFFIDAVIT CL-351 R	I HAVE CHANGED MY NAME FROM SHASHIKALA KISAN DALVI TO GEETA VINAYAK MORE AS PER AFFIDAVIT CL-351 S	I HAVE CHANGED MY NAME FROM HARSHAD KUMAR RAMNIKAL MEHTA TO HARSHAD RAMNIKAL MEHTA AS PER AFFIDAVIT DATE 21-06-2017 CL-351 T	I HAVE CHANGED MY NAME FROM BALKRISHNA HALBE TO AMIT BALKRISHNA HALBE AS PER AFFIDAVIT CL-351 U	I HAVE CHANGED MY NAME FROM RABINDRA RANJEET SINGH RAWAT TO RABINDRA RANJIT RAWAT AS PER AFFIDAVIT NO: 002387. CL-355	I HAVE CHANGED MY NAME FROM MAIN KET VAY PAPPILKUMAR NIPAL TO CL-355
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जाहीर नोटीस

[illegible]

PUBLIC NOTICE

This is to inform that Redevelopment of "Sagar Vaibhav Co-Op. Housing Society Ltd." also known as "Breeze" located at plot bearing CTS No. 51 of Village Mandapeshwar, Dahisar (West), Opposite Mary Immaculate Girls School, Mumbai-400068 (Maharashtra), has been accorded Environmental Clearance from the Ministry of Environment, Forest and Climate Change, Government of India. Copies of the clearance letter are available and may also be seen at website at <http://environmentclearance.nic.in/>

**Kolte-Patil Developers Ltd.
Constituted Attorney to Sagar Vaibhav CHSL.**

PUBLIC NOTICE

The property being land measuring about 1900 square yards situated at Adil Shikhar, Adil Shikhar Marg, Powai, Mumbai -400074, which is more particularly described in the schedule hereunder written and hereinafter referred to as "the Schedule Property", is in the exclusive possession use and occupation of my client Mr. Brahmashakti Singh Chauhan as the owner thereof. My client has filed suit No. 644 of 2010 in the Hon'ble Bombay City Civil Court as also writ Petition No. 2923 of 2013 in the Hon'ble High Court of Judicature at Bombay with regard to the Schedule Property and the same are depending and sub-judice.

My client has come to know that one Mr. Premnath Grover, who is claiming certain rights in respect of the Schedule Property, is trying to deal with, sell and dispose off the schedule property to some third party. The said schedule property is hereby performed ~~not to deal with~~ the said

जाहिर सुचना

[illegible]

जाहीर सूचना

पर्यावरण विषयक पत्रक, पत्रिकाकारस्थानाच्या सर्वसाधारण सेवां व शर्ती मुद्दा क्र. ७ मध्ये नमूद प्रमाणानुसार जाहिरात देत आहेत. महाराष्ट्र लाइफस्पेस डेव्हलपर्स असोसिएशन यांचा निवासी प्रकल्प, प्लॉट CTS No. २७७, २७८/१ ते ३, ४, २४/१, २४/३ बी, २४/३ सी, मुंबई या प्रकल्पातील पर्यावरण विभाग, महाराष्ट्र शासन, यांच्याकडून पर्यावरण मंजूरी देण्यात आले आहे. सावर मंजूरीची प्रत महासंघाच्या त्रैमासिक बैठकीत उपलब्ध आहे.

मे. महाराष्ट्र लाइफस्पेस डेव्हलपर्स लिमिटेड.

PUBLIC NOTICE

PUBLIC NOTICE is hereby given that the undersigned, who are the partners of the firm negotiating with Purchaser to sell of the Flat No. 701, which was having old title No. 104, is hereby transferred to the new title No. 701, which was having old title No. as 5881, free from all encumbrances, all ownership rights, all interest in respect of (5) Five Fifty paid shares of Rs. 50/- each bearing Nos. 06 to 10 (both inclusive) as mentioned in Share Certificate No. 002 dated 30/04/2004 and also having old Share Certificate No. 042, dated 10/01/1982 having defective nos. 206 to 209 (both inclusive) of Trikal Co-Operative Housing Society Ltd., together with right to use and occupy and possesses the Flat No. 701, 7th Floor, the building known as the Co-Operative Housing Society Ltd., situated at 90 Feet Road, Pant Nagar, Dehra Dun (Uttar Pradesh) - 400 075, together with the benefits of all amounts deposited lying to the credit of the Sellers and the books and records of the said society at original. Allotment letter issued by the AHA as well as agreement by and between, **SHRI NAGINBHAI RAHESHKUMAR MENTA & SHRI. RAHESHKUMAR MANAHARAL MENTA** are not traceable and therefore this Public Notice is hereby given.

कब्जा सूचना

(स्थायर मिळकतीसाठी)

ज्याअशी, बँक ऑफ महाराष्ट्र प्राधिकृत अधिकारी या नात्याने सिम्बुगुरीवाडेशन अँड पिक-मॅन्टेन्सन्स ऑफ फायनान्सियल अँड ईस्टेस अँड एन्व्हेलपमेंट ऑफ सिम्बुगुरी इस्टेट अँड, २००२ अन्वये आणि कलम १३(१२) सहवाजला सिम्बुगुरी इस्टेट (एन्व्हेलपमेंट) अँड, २००२ च्या नियम ३ अन्वये प्राप्त अधिकाऱ्यांचा वापर करून अँड ईस्टेटच्या कलम १३(१) अन्वये दिवंगत ४० जूनि, २०१६ तेजी एक मागणी कलम जारी करून तुम्हाला (१) ये. खातू रॉटिंग २० जूनि, (२) सौ. भाग्यश्री मालचंद खातू (संचालक आणि जमीनदार), ३) श्री. मालचंद श्रीराम खातू (संचालक आणि जमीनदार) यांना सद्यः सुचनेतील रु. १,०१,००,४८१.०० (रुपये एक कोटी एक लाख चारशे एकव्यारशी मात्र) अधिक परिशिष्टातील मिळकतीच्या गहाणासावेछा २८.००.२०१६ पासून न लावलेले व्याज अशा रकमेची पल्लेफेड सदर सुचनेच्या प्राप्तीच्या दिनांकापासून ६० दिवसांनी करण्यास सांगितले होते.

[illegible]

नौवणी जिल्हा आणि उप-जिल्हा मुंबईच्या २११६ व थारक ऑफ टी एच कडोबा २/३३५, टीओपी III च्या अंतर्गत प्लॉट क्र. २११६ व थारक ऑफ टी ओपेस्टिव्ह हऊसिंग मार्ग, माहीम, मुंबई-४०००१६ येथील लक्ष्मीकांत को- ऑपेस्टिव्ह हऊसिंग सोसायटी लि. मधील ४०० चौ. फूट मोजमापाचा दुसऱ्या मजल्यावरील प्लॉट क्र.

दिनांक: १९.०६.२०१७
ठिकाण: माहीम
प्राधिकृत अधिकारी आणि
चीफ मॅनेजर (एआरसी)
बैंक ऑफ महाराष्ट्र

सिंडिकेट बैंक
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